

# **BEAVER CROSSING**

**MASTER PLANNED DEVELOPMENT  
CONDITIONAL ZONING (MPD-CZ)**

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# I. OVERVIEW AND INTRODUCTION

## SECTION 1-1 INTRODUCTION, PURPOSE AND INTENT

The master planned concept for Beaver Crossing (the “Project” or “Beaver Crossing”) is to create a mixed-use unified development providing a variety of retail, service, hotel, dining, light industrial/office flex space uses consistent with the Orange County 2030 Comprehensive Plan adopted November 18, 2008 (the “Comprehensive Plan”) and the governing Efland-Mebane Small Area Plan which supports “retail and other commercial uses and/or manufacturing and other industrial uses” for the area. The Project and its mixture of uses will be designed in a manner consistent with the guiding principles of the Efland-Mebane Small Area Plan and the County’s Unified Development Ordinance (“Ordinance” or “UDO”) to ensure quality site and architectural design, significant open space preservation, landscaping and buffer treatment protections of adjoining properties, appropriate water and sewer infrastructure installations, an improved roadway network and streetscape improvements supporting vehicular and pedestrian connectivity and appropriate access management.

In addition to providing mixed uses as contemplated by the Efland-Mebane Small Area Plan, the Project will be anchored by a Buc-ee’s Travel Center. Buc-ee’s is an iconic family travel destination (not a truck stop) that will offer fuel, fresh food, unique merchandise, and famously clean restrooms to North Carolina residents and visitors. Together with the light industrial and other master planned commercial uses, Buc-ee’s will generate substantial tax benefits and create well-paying job opportunities to area residents as desired by the Comprehensive Plan and the Efland-Midland Small Area Plan.

Given the scope and mixed use nature of the Project, it is appropriate to submit the Project rezoning through an application for a Master Plan Development Conditional Zoning District (MPD-CZ), the purpose of which is to:

*... provide for unified large-scale subdivisions, non-residential, and mixed-use developments that promote economical and efficient land use, improved level of amenities, appropriate and harmonious variety, creative design, and a better environment through the approval of a general Master Plan.*

To that end, and in accordance with the provision of Section 2.9.2 of the (UDO, we hereby submit this application requests to rezone the approximately 104.55 acres of land generally depicted on Sheet C1.0 (the Property”) to the MPD-CZ zoning designation to allow for the development of the Project consistent with the land uses, development standards and other terms and provisions of this rezoning plan (including these Development Standards and accompanying Sheets, the “Rezoning Plan”).

As such, this Rezoning Plan contains the standards and guidelines to be utilized by the County to evaluate various development projects submitted for approval within the Property, as outlined in the Table of Contents above.

The Project is designed with consideration of the continuity and protection of surrounding land uses and existing, on-site, environmental features by utilizing generous land use buffers and providing large scale open space areas estimated at 30% of the Project (as more particularly described below), each well in excess of UDO minimum standards.

Significant new internal roads and pedestrian improvements and off-site traffic improvements are proposed to serve the new development activities and support/improve mobility and assure appropriate access management. These new roadway improvements will ensure acceptable levels of service in the area, remove the duplicative ramp activity on I- 40/85 between Hwy 70 and Mt. Willing Road, and re-route obtrusive overhead transmission lines along that section of the I-40/85 frontage, and provide much needed connectivity from Mt. Willing Road/Turner Road by way of a new street through the Project to connect with the I-85 Connector, among other improvements.

The Project will introduce a regionally significant job creating development to an area of Orange County whose economic potential has been previously underutilized, and which has been identified in the Comprehensive Plan and Efland-Mebane Small Area Plan for creation of job opportunities to area residents. The mixed uses such as the light industrial/office flex and retail uses, including the Buc-ee's Travel Center will generate quality jobs and have the potential to attract valuable interstate commerce to an area that is naturally, and perfectly, situated for interstate commerce, with incredible in and out access to major transportation outlets of I-40/85, while preserving the overall character of the area.

The location of the Project, its planned mix of uses consistent with the Comprehensive Plan and the Efland-Mebane Small Area Plan, and the planned transportation/infrastructure improvements offer a unique opportunity to Orange County. Primarily, the Buc-ee's Travel Center constructed in Phase One of the Project will create at least 175 jobs for area residents. These are jobs which will provide a living wage and above, health benefits, and 401k to an underserved portion of Orange County. Area residents who become part of the Buc-ee's team fill jobs that are often labeled "low barrier to entry". Much more significant than those labels, the folks who become the very core of Buc-ee's success just need to be friendly, hard-working, and conscientious. Secondly, the direct ad valorem and sale tax revenues generated by the Buc-ee's alone during Phase I are estimated to exceed \$1,000,000.00 per year, and over full build-out the Project is estimated to provide annual ad valorem and sale tax revenues of \$2,000,000.00, to support delivery of governmental services to citizens of Orange County.

We view this Project, and the Conditional Zoning process, as a thoughtful collaboration with local officials to promote purposeful development. A project designed to achieve the goals enumerated within and in a manner consistent with the Comprehensive Plan and Efland-Mebane Small Area Plan while providing economic development opportunities for area residents and at the same time maintaining the character of the overall area and protections to quality of life for nearby residents.

## **SECTION 1-2            EXISTING ZONING, PROJECT SIZE AND LOCATION:**

**Existing Zoning.** The Property intended for the development of the Project is currently zoned O/RM (Office/Research and Manufacturing) as generally depicted below.

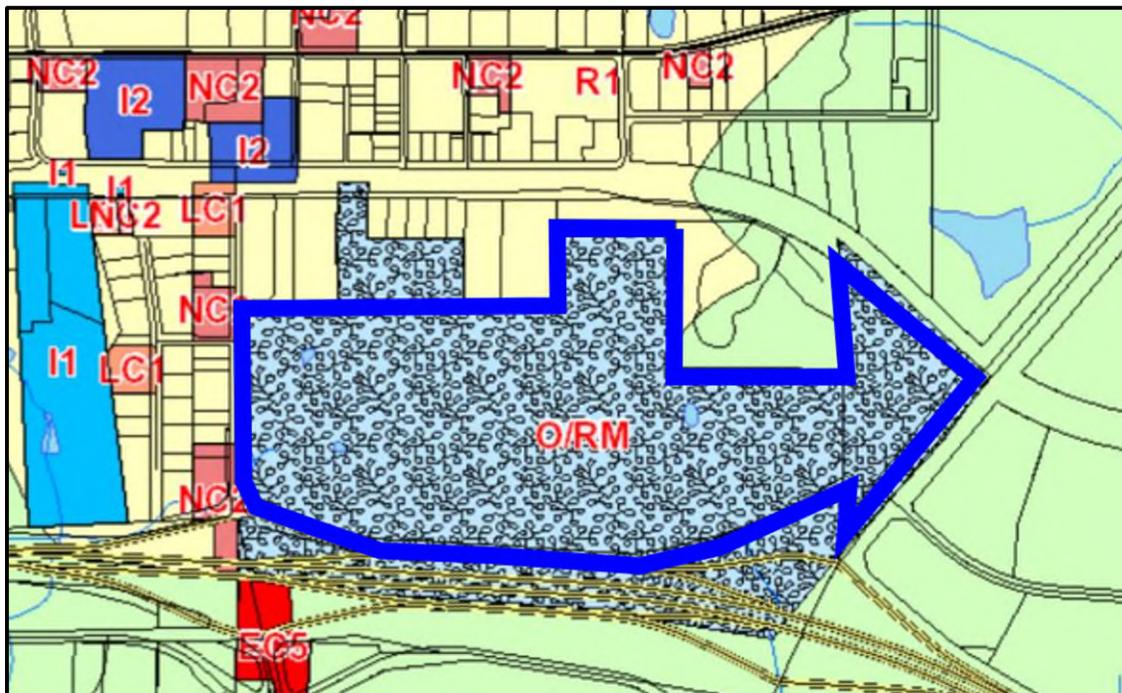


IMAGE 1-1 – County Zoning Atlas Map of Area

**Project Size/Location**

The Project is located within Orange County, North Carolina and is situated on approximately 104.55 gross acres, east of Mt. Willing Road, north of I-85/I-40 and west of I-85 Connector US Highway 70, and generally depicted below and on Sheet C1.0, and includes specifically the following parcels:

1. 10.00-acre tract of land as PIN# 9854-36-3711
2. 94.55-acre tract of land as PIN# 9854-16-1576

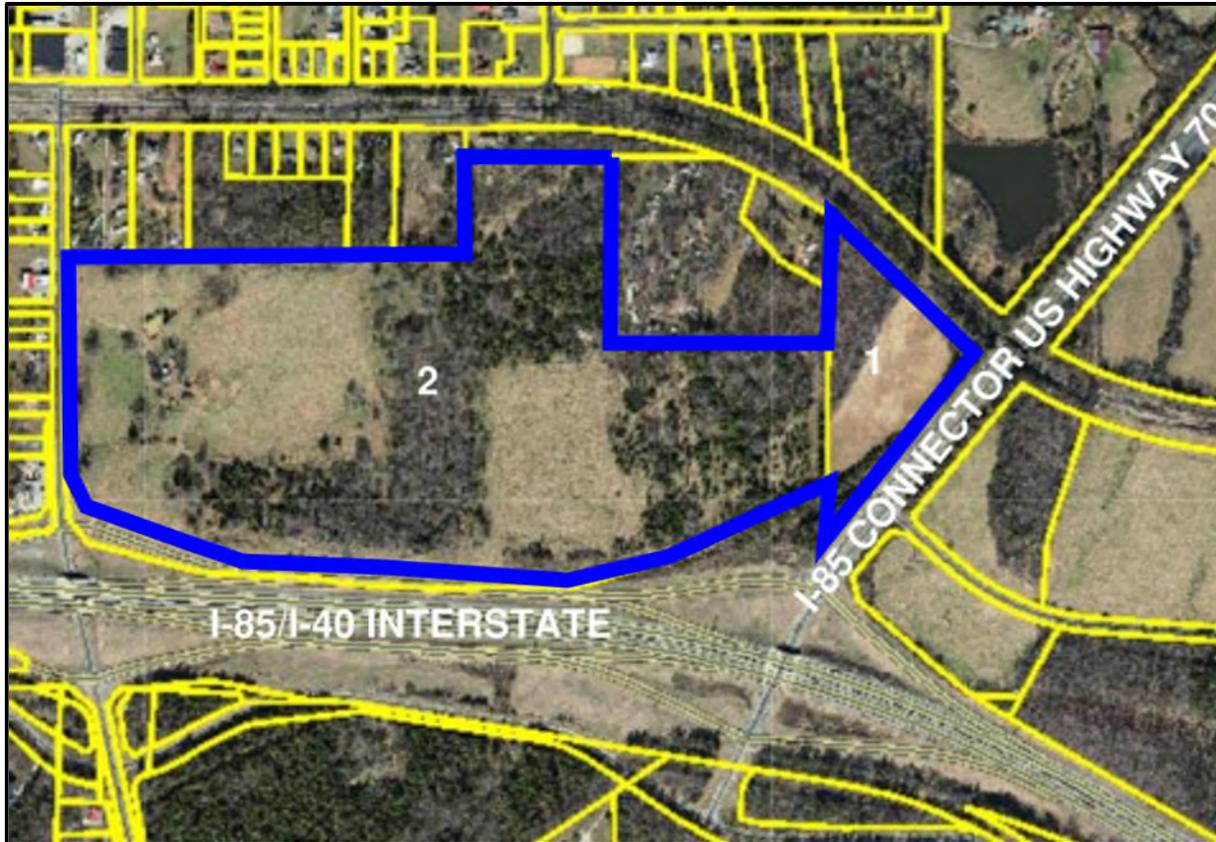


IMAGE 1-2 - Overall Map

**SECTION 1-3 CURRENT LAND USES:**

As indicated above, the Property includes the following existing land uses and zoning:

PIN – 9854-36-3711	Undeveloped	ORM
PIN – 9854-16-1576	Undeveloped	ORM

**SECTION 1-4 ADJACENT PROPERTY INFORMATION:**

The Property is adjoined by several individual parcels ranging in size from 1 acre to 15 acres. As generally depicted the predominant use of adjacent property is residential and agricultural activities. The adjacent parcels to the North and West are residential, local commercial, and mobile home park uses. The parcels to the South and East, across I-85/I-40 and I-85 Connector, respectively, are largely vacant with some agricultural uses.

There is also a large-scale electric utility line running through the project as generally depicted on Sheet C1.0. Exhibit A provides a listing of all property owners within 1,000 feet of the Project.

As set forth above, the Project is designed to accommodate and protect adjacent properties and their current uses through the use of substantial land use buffers and the protection of existing

natural features. Please refer to SECTION II. Performance Standards for a more detailed explanation of the proposed land use buffer program.

In conjunction with anticipated thoroughfare improvements, detailed roadway design will involve efforts to maintain, combine, and/or relocate existing access points in a manner that not only protects existing land uses but preserves to the greatest extent practical existing, mature, vegetation.

## **SECTION 1-5 GENERAL PROVISIONS**

**A. Development Areas.** For ease of reference to various aspects of the Rezoning Plan, several primary development areas are generally depicted on Sheets C2.0 & C2.1 (each a “Development Area” and collectively the “Development Areas”). In addition, green space areas are generally depicted on Sheets C2.0 & C2.1. The exact boundaries of the Development Areas and green space areas may be modified to account for Development/Site Elements (as defined below) and other modifications needed to fulfill the design and development intent of the Rezoning Plan.

**B. Status of the Master Plan & Other Graphics.** The overview plan attached to this document as Sheets C2.0 & 2.1 (together the “Site Plan”) and all other related graphics and descriptions attached to this document are designed to reflect the overall general design intent, as well as certain elements and commitments defined for the Project, while being subject to flexibility as the Project and phases move into the design development and construction phases.

Any schematic depictions of the uses, parking areas, sidewalks, structures and buildings, building elevations, driveways, streets/roads, trails, paths, creeks, green space, open space, easements, utilities, signage, lighting, Development Areas, green space areas and other development matters and site elements (collectively the “Development/Site Elements”) that may be set forth on the Rezoning Plan should be reviewed in conjunction with the Narrative portion of the Rezoning Plan. The layout, locations, sizes and formulations of the Development/Site Elements that may be depicted on the Rezoning Plan are merely graphic representations of the Development/Site Elements that are generally proposed. Since the Project has not undergone the design development and construction phases and given the long-term master planned nature of the Project, it is intended that this Rezoning Plan provide for flexibility in allowing modifications from the graphic representations of any Development/Site Elements shown. Therefore, there will be instances where modifications will be allowed without requiring administrative review under the UDO; these instances would include changes to Rezoning Plan if they are permitted by the Rezoning Plan, do not materially change the overall design intent that may be generally depicted on the Rezoning Plan, and/or are needed to deal with changing market conditions and development constraints. Furthermore, and in addition to the foregoing rights, at any time the Applicant or the owner of the applicable parcel in question, may seek approval of the development sought by filing of a rezoning pursuant to the requirements of the Ordinance.

**C. Five Year Vested Rights.** Per Section 1.1.15 of the UDO and the provisions of N.C.G.S Section 153A-344.1, due to the master planned large scale nature of the development & its timing, and the level of investment, among other factors, the Applicant, Property and the Rezoning Plan

shall be entitled to vested rights in the manner described herein and therein, but such provisions shall not limit any other vested rights at common law or otherwise.

**D. Flexibility in Listing & Location of Uses.** While the Rezoning Plan sets forth a conceptual Site Plan and a high level design intent for the Project, it is understood that allowed uses may be located across portions of the entire Project, subject to any applicable separation standards/requirements and as set forth in the Rezoning Plan as to the Preserved Green Space Areas. In addition, the Rezoning Plan sets the range of allowed uses for the Project, and it is understood that the listing of uses is intended to be interpreted broadly in a reasonable manner since it is difficult to list all specific uses within categories or descriptions of uses and uses evolve over time with new uses brought to bear that may not exactly fit the descriptions of uses as of the approval of the Rezoning.

**E. Amendments.** Future amendments to the Rezoning Plan (which includes without limitation the provisions of this Narrative) may be applied for by the Applicant or the then owner or owners of the applicable portions or parcels of the Project affected by such amendment in accordance with applicable provisions of the UDO.

**F. Binding Effect.** If this Rezoning is approved, all conditions applicable to the development of the Property imposed under the Rezoning Plan will, unless amended in the manner provided herein, be binding upon and inure to the benefit of the Applicant, and subsequent owners of portions or parcels of the Property, as applicable, and their respective heirs, devisees, personal representatives, successors in interest or assigns.

**G. Special Definitions & Clarifications.** In addition to certain defined terms set forth in the Rezoning Plan including without limitation this Narrative, the following apply to certain definitions, which definitions/provisions shall control to the extent of any conflict or duplication with definitions or provisions contained in the UDO:

**1. Applicant.** This term refers to Buc-ees, Ltd. its affiliates, successors or assigns, which is serving as the applicant for the Rezoning.

## **SECTION 1-6 CONSTRUCTION SCHEDULE**

A preliminary schedule of construction regarding the Project is set out on Exhibit H. Changes to this schedule will be made to reflect design development and market considerations, among other factors.

## II. LAND USE PROGRAM

### SECTION 2-1 PROJECT DESCRIPTION

**A. Generally.** As stated, the master planned concept of the Project is to create a mixed-use unified development providing a variety of retail, service, hotel, dining, light industrial/office flex space uses consistent with the Comprehensive Plan and the Efland-Mebane Small Area Plan which supports “retail and other commercial uses and/or manufacturing and other industrial uses” for the area. The Project and its mixture of uses will be designed in a manner consistent with the guiding principles of the Efland-Mebane Small Area Plan and UDO to ensure quality site and architectural design, significant open space preservation, landscaping and buffer treatment protections of adjoining properties, appropriate water and sewer infrastructure installations, an improved roadway network and streetscape improvements supporting vehicular and pedestrian connectivity and appropriate access management.

In addition to providing mixed uses as contemplated by the Efland-Mebane Small Area Plan, the Project will be anchored by a Buc-ee’s Travel Center. Buc-ee’s is an iconic family travel destination (not a truck stop) that will offer fuel, fresh food, unique merchandise, and famously clean restrooms to North Carolina residents and visitors. Together with the light industrial and other master planned commercial uses, Buc-ee’s will generate substantial tax benefits and create well-paying job opportunities to area residents as desired by the Comprehensive Plan and the Efland-Mebane Small Area Plan.

**B. MPD-CZ Zoning.** Development of the Property will be governed by the Rezoning Plan (including without limitation this Narrative and all Sheets attached hereto) as well as the applicable provisions of the UDO. Unless the Rezoning Plan establishes alternate standards, the regulations established under the UDO for the MPD-CZ zoning classification for the Property shall govern all development taking place on the Property; it being understood that adherence to the regulations of the MPD-CZ includes a recognition that the “MPD-CZ district is intended to allow for flexibility in dimensional standards” and as to the “applicable use standards detailed in Article 5 and applicable development standards detailed in Article 6 of [the] Ordinance” allows “creative alternatives that meet the intent and spirit of the regulations.

### SECTION 2-2 CONSISTENCY WITH COMPREHENSIVE PLAN, EFLAND-MEBANE SMALL AREA PLAN & OTHER PLANS/DESIGNATIONS

**A. Generally; Changing Conditions.** The requested rezoning of the Property to the MPD-CZ district is consistent with the Comprehensive Plan, the accompanying Future Land Use Map of the Comprehensive Plan, the Efland-Mebane Small Area Plan adopted June 27, 2006, the Efland Interstate Overlay District provisions of the UDO, the Orange County/Town of Hillsborough Joint Planning Land Use Map and the WASAMPBRA Map Designation.

In addition to the consistency of the Project with community plans and the UDO, the approval of the Project will reflect changing conditions in the Triangle area and this portion of Orange County

to support the location and development of non-residential land uses serving as both an income and job generator most importantly for area residents but also the region as a whole. The mix and scale of the uses, and also the extent of the preserved green/open space, complement the area while preserving the quality of life in this area of the County. This will support funding for the changing and growing needs for governmental services throughout the County while staying consistent with the objectives of the Comprehensive Plan and the Efland-Mebane Small Area Plan and therefore in a manner that promotes the public health, safety and general welfare.

**B. Consistency with Comprehensive Plan.** The Rezoning Plan is consistent with the intent and core values of the Comprehensive Plan as follows:

- The Comprehensive Plan provides that:

*“the Future Land Use Map defines the location of coordinated and appropriate land use classes and is designed to accommodate a particular combination of land uses that would achieve a desired pattern of development.... As a result of the County’s strong commitment to the Future Land Use Map, it can be and is used as a primary tool by staff, the Planning Board, and elected officials during review of re-zonings. The Map also provides the development community and staff with clear guidance to the locations in the County where re-zonings may be appropriate and where they are not.”*

- The Future Land Use Map of the Comprehensive Plan designates the Property and portions of nearby land as “Commercial-Industrial Transition Activity Node, which is defined under the Comprehensive Plan as

*“Commercial-Industrial Transition Activity Node: Land near major transportation routes that could be provided with public water and wastewater services and is appropriate for retail and other commercial uses; manufacturing and other industrial uses; office and limited (not to exceed 25% of any Node) higher density residential uses.”*

- The Project provides for a mix of uses consisting of retail, commercial uses, light industrial/distribution/flex space uses, and offices uses – all such uses being expressly contemplated for the Commercial-Industrial Transition Activity Node, for which the Property is expressly designated under the Comprehensive Plan.
- It is noted that the Future Land Use Map calls for very few such Commercial-Industrial Transition Activity Nodes, which reinforces the appropriateness of the location of the Project being squarely at “major transportation routes” and accompanying interchange of I-40/85 and Mt. Willing Road and interchange of I-40/85 and I-85 Connector. The appropriateness of the Property, including its location along these major transportation routes, for the designation of intensification for commercial-industrial uses, makes the Property one of the most appropriate locations if not the most appropriate location within

the County for the proposed uses that will support in a balanced manner the corresponding community planning goal for providing job opportunities of area residents.

- Other objectives of the Comprehensive Plan, in addition to the more tailored recommendations and objectives set forth in the Efland-Mebane Small Area Plan described below, include, among others:
  - To “[C]oordinate the location of higher intensity/higher density ... non-residential development with existing or planned locations of public transportation, commercial and community services, and adequate supporting infrastructure (i.e. water and sewer, high speed internet access, streets, and sidewalks), while avoiding areas with protected natural and cultural resources. This could be achieved by increasing allowable densities and creating new mixed-use zoning districts where adequate public services are available. [Objective LU-1.1; see also ED-2.1, ED-2.3, ED-2.10 and WW-2];
  - To “[E]ncourage energy and water use in an efficient manner by industries and encourage energy efficient industries to locate or expand in the County in Rural Industrial, Commercial/Industrial, and Economic Development Nodes.” [Objective LU-3.9]- To “[R]equire non-residential ... developments within Transition Areas to use Best Management Practices (BMP’s) for stormwater control, as outlined in the [UDO], to ensure that potential adverse impacts on the water quality of existing and proposed reservoir sites are avoided.” [Objective LU-2.3; see also EC-1 and NA-4];
  - To “[D]evelop a process for implementing small area plan recommendations through the revision of County policies and regulation.” [See below discussion implementation of recommendations of the Efland-Mebane Small Area Plan];
  - To [E]ncourage “compact higher density development in areas served by water and sewer” and “mixed use projects that support walkable communities.” [Objective ED-2.1, among others]
- As described herein, the Project will include appropriate provisions for the extension of water and sewer service at requisite levels to the Project without adverse consequences to other areas of the County and the Project’s mixture of uses is consistent with the Comprehensive Plan and will include enhanced sidewalks and vehicular and pedestrian connectivity and internal walkability. Provision for transit shelter is being made. Environmental commitments include BMP’s and other protections to ensure avoidance of adverse impacts on water quality.

### **C. Consistency with Efland-Mebane Small Area Plan.**

- The Comprehensive Plan highlights the importance of small area plans informing the broader Comprehensive Plan as follows:

*“Development of Small Area Plans has allowed the County to take a more detailed look at targeted areas in the County. The goals and objectives of these Plans provide a*

*foundation for improving the County's Comprehensive Plan to effect needed change in these locations."*

- Chapter 5 of the Comprehensive Plan references the development and adoption of the Efland-Mebane Small Area Plan in June 2006 to include an assessment of the existing plans for the area, analysis of existing infrastructure, land uses and economic conditions and land use related implementation recommendations.
- The "Goal" of the Efland-Mebane Small Area Plan states that the "[planning area should be well-served by reliable infrastructure to accommodate orderly, planned growth....An efficient multi-modal transportation system will operate in the area] and commercial and light industrial uses both in the planning area and nearby will provide job opportunities to area residents."
- Consistent with the Comprehensive Plan, the Efland-Mebane Small Area Plan identifies land areas that are in the process of changing and are suitable for higher densities upon provision of appropriate public utilities and services within a 20-year horizon. It also states that non-residential uses may be appropriate as implemented in a potential overlay district. The Efland Interstate overlay district set out in Section 4.4 of the UDO is an example of such an appropriate overlay district, and it was "established to provide for a more urban style of development in an area of the County served, or intended to be served by public water and sewer systems."
- The Property is located within the Southeast portion of the planning area of the Efland-Mebane Small Area Plan, a portion of the planning area that "enjoys access to major transportation facilities including Interstate 40/85 and the US 70 Connector. Because of this, development potential for the area is high."
- The Possible Future Land Use – Map 30 of the Efland-Mebane Small Area Plan Planning Area designates the portion of the Site located outside of the Water Supply Critical Area as Mixed Use. Since the adoption of the Efland-Mebane Small Area Plan, the Critical Watershed Area has been adjusted, and now no portion of the Property is located within the Critical Watershed Area.
- Furthermore, the Efland-Mebane Small Area Plan makes the following specific recommendations relevant to the Property located within the southeast portion of the planning area:
  1. *The southeast portion of the planning area should be considered for "Mixed Use" designation to be developed only when public water and sewer systems area available to the area.*
  2. *Guidelines for site and architectural design should address: "façade materials; architectural details; impervious surface limits; landscaping and buffering; preservation open space; access management; signage and site orientation.*

*4. The status of the Seven Mile Creek Reservoir should be decided and if a reservoir will not be created, the “Critical Area Line should be reevaluated.... The following recommendations are made if the Critical Watershed line is revised;*

*a) Growth served by public water and sewer should be allowed north of the Interstate in the vicinity of the Mt. Willing Road/Interstate 40/85 interchange (A revision to the WSMPBA Map would be required to implement this recommendation.)”. As noted above, the Critical Watershed Area has been revised and no portion of the Site is located within that area.*

*c) The need for additional water quality Best Management Practices (BMPs) should be evaluated since the Seven Mile Creek would continue to be a water supply watershed.”*

**IMPORTANTLY, the Rezoning Plan and descriptions that follow demonstrate compliance with the above-referenced recommendations of the Efland-Mebane Small Area Plan.**

Part C of the Efland-Mebane Small Area Plan references certain transportation guidelines/recommendations to support mobility, transit and the roadway network in the area. As described below in the Rezoning Plan, commitments regarding transportation and pedestrian infrastructure improvements set forth herein will support the transportation matters in the vicinity of the Project and in other parts of the planning area and beyond.

**D. Consistency & Compliance with Efland Interstate Overlay & MPD-CZ Requirements.**

In addition to the Project’s consistency with the Comprehensive Plan and the Efland-Mebane Small Area Plan as described above and in the remainder of the Rezoning Plan, the Project will also comply with the provisions of Section 4. 4 of the UDO applicable to the Efland Interstate Overlay District and the additional standards of for the MPD-CZ district set out in Section 6.7 of the UDO.

**SECTION 2-3 PROJECT DEVELOPMENT AREAS**

**A. Generally & Boundaries.** For ease of ease of reference and as an organizing feature associated with the master planned nature of the Project, a series of 6 Development Areas (as defined in Section 1-5 above) are generally depicted on Sheets C2.0 & 2.1 along preserved green/open space areas . The exact boundaries of the Development Areas and preserved green/open space areas may be modified to account for Development/Site Elements (as defined below) and other modifications needed to fulfill the design and development intent of the Rezoning Plan.

**B. Adjustments for Uses/Development Levels.** It is understood that except with respect to development taking place within Development Area 1 (contemplated for the retail use and as the planned Buc-ee’s as more particularly described herein), and the preserved green/open space areas as generally depicted on the Rezoning Plan, uses and development levels set forth for Development Areas 2, 3, 4 and 5 may be relocated within such Development Areas 2, 3, 4 and 5 provided that the (i) total aggregate development levels, taking into consideration conversion of uses as

described below, may not exceed the development levels designated for such Development Areas 2, 3, 4 and 5, and (ii) total aggregate development levels for all principal uses on the Project, taking into consideration of conversion of uses describe below, may not be exceeded.

## **SECTION 2-4 PERMITTED USES, DEVELOPMENT LEVELS & USE CONVERSION RIGHTS**

### **A. Permitted Uses Generally.**

1. The Property may contain and may be developed with uses permitted by right in the MPD-CZ district, together with accessory uses as allowed in the MPD-CZ district, but except as expressly limited by the provisions of subsections 2-4B. and C. below.
2. Furthermore, it acknowledged that the principal uses set forth for certain Development Areas as described on Sheets C2.0 & 2.1 are the primary uses contemplated for such Development Areas but other uses permitted under this Section 2-4 may be allowed if they are reasonably consistent with the nature of the principal uses set forth on such Sheets or consist of lower intensity institutional uses that would complement the overall mixed use nature of the master plan.
3. For clarity and avoidance of doubt but not to limit other uses not expressly prohibited in this Section or in the MPD-CZ district, (i) a bank/financial institution or other similar use may be located on the Property within one of Development Areas 2, 3 or 4 and (ii) a carwash facility or other similar use may be located within one of Development Areas 1 or 4.
4. Accessory and/or secondary uses related to support features such as utilities, telecommunications, streets, sidewalks, bike and/or pedestrian paths (natural or man-made), green space, open space, outdoor recreation equipment, seating areas, transit and bus type facilities such as Bus and Rail Passenger Shelter, electric vehicle charging stations, trails, signage, cellular towers and broadband equipment, water storage facilities, solar equipment/facilities and the like, among others, are also permitted as provided for in the MPD-CZ district .
5. Temporary Uses shall be permitted as allowed in the MPD-CZ district and as may be described herein.

### **B. Prohibited Uses.**

1. **Limitations on Secondary Gas/Convenience Store and EDEE (eating, drinking entertainment establishments) with Drive-Through Facility Uses.** Except for the uses allowed for Development Area 1 (including without limitation retail sales to include among other uses the sale of gas and related products and services and quick service EDEE uses with drive-through facilities, no gas station nor convenience store/gasoline sales uses and will be allowed on the Property, and no fast food restaurant with drive-thru window facility will be allowed on the Property. For the purposes of this provision, the term “gasoline sales” shall including petroleum, ethanol, diesel or other motor vehicle fuels.

2. **Prohibition of Other MPD-CX Uses.** In addition, *Table 2-4* below lists certain other principal uses that are permitted under the MPD-CX district but which are not allowed for the purposes of the Project.

TABLE 2-4 PROHIBITED USES

- Massage Business;
- Drive-Thru facilities for Eating and Drinking Establishments (see above)
- Single family, duplex, or multi-family residential uses but health and personal care uses are allowed
- Convention center uses (but motel/hotel/extended stay lodging is permitted)
- Textile mills and textile product mills
- Outdoor animal raising uses
- Drug rehabilitation, halfway housing, or adult rooming or boarding but elderly assisted living centers shall be permitted
- Motor vehicle sales/rentals, boats, recreational vehicles or motorcycles
- Dry cleaning plant or business
- Amusement parks or carnival facility
- Gambling establishments or betting parlors
- Jails or prisons
- Smelting activities

**C. Maximum Development Levels for Transportation Purposes for Phase I & Phase II Development.**

1. Development levels for permitted uses are set forth in *Table 2-4C*. below for the purposes of regulating traffic/transportation related aspects that may result from development taking place on the Project and in connection with phasing of the Project for transportation improvements purposes as more particularly set forth in Section V. below.

2. When referencing development levels for development in *Table 2-4C* below, it is understood that those permitted uses not falling within the category of uses listed below shall be accounted for as “Other Permitted Uses” as set forth in *Table 2-4C* below. Actual development levels allowed may be increased or decreased above or below the development levels reflected in

Table 2-4C below in accordance with the conversion rights set forth in Section 2-4D below, up to the maximum conversion amounts set forth in such section.

**TABLE 2-4C DEVELOPMENT LEVELS FOR TRANSPORTATION PURPOSES**

<u>Principal Proposed Uses *</u>	<u>Total Thru Phase I</u>	<u>Total Thru Phase II</u>
Non-Office Commercial Uses (retail, EDEE & Personal Services)	71,100 sf	133,100 sf (62,000 Phase II)
Financial Services/Bank Uses		3,500 sf
Hotel/Short Term Rental Non-Host Rooms		100 rooms/keys
Office/Light Ind./Flex/Distr./Manu. Uses and Other Permitted Uses		150,000 sf

\* Subject to increases or decreases based on conversion rights set forth below

**D. Adjustments/Conversion of Uses**

In light of the long-term master planned nature of the Project, the development levels associated with the principal uses as described above may vary based on market conditions and other considerations. Accordingly, in order to provide appropriate flexibility in the mix of uses over time while still accounting for traffic adequacy considerations, the principal permitted uses described in Table 2-4C above may be converted among such uses using a formula based on average daily trip ratios from the then current International Traffic Engineers Manual for the uses in question.. Applicant shall work with NCDOT and Orange County transportation officials in the determination of the applicable conversion levels for the principal uses as described above and not such increases in allocable development levels shall be implemented without the written approval of such transportation officials. Applicant shall provide to the Orange County Planning Department a written summary of the entitlements so converted and the resulting modifications to the development levels permitted in this Rezoning Plan.

**SECTION 2-5 PERFORMANCE STANDARDS**

**A. Land Use Intensity.** Land use intensity for the Project shall be regulated in accordance with the following:

1. The Project shall not be subject to any specific impervious area restrictions, except those necessary to comply with the maximum impervious surface restriction of 70% within the Upper Eno Watershed.
2. The maximum floor area ratio shall be 0.65 within each Development Area.
3. The Project shall maintain a blended minimum percentage of open space of thirty percent (30%) for the entire Project, estimated to be approximately 30 acres. All areas restricted from

development such as mapped 100-year flood plains, stormwater control measures, wetlands, streams, stream buffers, landscape areas, required Land Use Buffers, and similar areas shall count towards this requirement.

4. Beaver Crossing shall allow for a Maximum Building Height of 60 feet; however, all accessory structures such as utility towers and other similar items may exceed 60 feet.

5. All 100-year floodplains as regulated by FEMA and streams as regulated by the State within the Project shall be buffered and maintained in accordance with applicable County regulations as contained in Article 6.13 of the UDO.

6. Each site plan submitted proposing development within an individual Development Area within the Project shall supply documentation outlining the cumulative total of impervious surface and open space / landscape area for the development site. The documentation shall identify the total within the Development Area as well as cumulatively for the Project in order to verify acceptable levels of developmental intensity. Additionally, this documentation is an essential component denoting compliance with stormwater management standards as enforced by the County and as detailed in Section 6.15 of the UDO.

**B. Environmental Factors.** Environmental factors for the Project shall be regulated in accordance with the following and are consistent with the Orange County enforced standards as detailed within Section(s) 6.4.2 through 6.4.7 of the UDO:

1. **Noise.**

a. Noise generated by construction activities shall be regulated in accordance with the provisions of the Orange County Noise Ordinance, including adherence to establish standards for the commencement, and cessation, of construction activities,

b. Maximum permitted sound/noise levels for all land uses shall be regulated in accordance with the provisions of the Orange County Noise Ordinance and Section 6.4.3 of the UDO.

2. **Vibration.** The Project shall comply with any and all applicable Orange County vibration ordinance and requirements.

3. **Air Pollution.** Project shall comply with any and all applicable air quality standards established by the State Environmental Management Commission and with any and all Air Quality permits issued for the Project.

4. **Electromagnetic Interference.** Project shall comply with any and all applicable standards established by the State as well as the Federal Communications Commission (FCC) concerning electromagnetic interference,

5. **Hazardous Materials.** Individual tenants or owners/operators shall be required to demonstrate compliance with any and all applicable Federal, State, and local regulations governing the storage, use, and disposal of hazardous materials,

6. **Solid Waste.** The following standards shall be observed with respect to the management of solid waste:

- a. The developer of the Project or an individual development site shall adhere to the proper disposal methodology for solid waste management.
- b. The applicant shall provide external space for collection of solid waste and recyclable materials. Materials collected shall be at least equivalent to the services provided by Orange County Solid Waste.
- c. Waste collection areas shall be located in such a manner as to provide convenient access for users of the facility and safe passage for service vehicles.
- d. The developer shall be required to place the following additional notes on any approved site plan:
  - i. Any gate design will include gate retainers.
  - ii. If any vehicles are parked in the refuse or recyclables collection vehicle access area, the containers will not receive service until the next scheduled collection day.
  - iii. Orange County will not be responsible for any pavement damage that may result from service vehicles.
  - iv. By Orange County Ordinance, clean wood waste, scrap metal and corrugated cardboard, all present in construction waste, must be recycled.
  - v. By Orange County Ordinance, all haulers of construction waste must be properly licensed.
- e. In cases where waste collection areas are located across property lines or district lines for shared areas, the developer shall prepare and record a joint access agreement (and a shared dumpster agreement) to assure that (both parties may use) the proposed trash/recycling area and that it can be serviced across property lines.
- f. The developer shall reserve space within all solid waste collection areas for segregated grease rendering/recycling collection facilities and shall provide space for segregated food waste collection near the delivery entrance for any building that houses, proposes to include, or may at some future date incorporate a restaurant, cafeteria, bar, or other food service facility at any time.
- g. All solid waste containers, dumpsters, recycling bins, etc. shall be located within an enclosure, buffered in accordance with the standards contained herein, and meeting the following criteria:
  - i. Loading areas shall be designed and situated not to negatively affect adjacent properties.
  - ii. Solid waste enclosures shall be so located as to not impact internal traffic flow,
  - iii. Loading zones shall not be located within areas designated as housing for solid waste facilities.

7. **Erosion Control.** The development will comply with the NC Sedimentation and Pollution Control Act of 1973 and the North Carolina Administrative Code Title 15Aa Chapter 4.

8. **Stormwater Management** The following standards shall be observed with respect to stormwater management activities for the Project:

a. Riparian areas (stream buffers) shall be maintained consistent with the provision(s) of Section 6.13 of the UDO.

b. Impacts to the Neuse stream buffers on site shall comply with the uses listed in the Neuse Rules and the Orange County Unified Development Ordinance. Examples of listed uses include utilities, roadways, etc.

c. The project shall comply with the stormwater requirements listed in the Falls Lake Rules. This includes:

i. No net increase in peak flow leaving the site from the predevelopment conditions for the 1-year, 24-hour storm;

ii. Nitrogen and Phosphorus load contributions leaving the site must be held to 2.20 lbs per acre per year and 0.33 lbs per acre per year respectively. These standards can be met via offset payments and/or SCMs.

d. A Master Stormwater Management Plan (SMP) shall be developed to address stormwater runoff for the entire development even though individual parcels may be responsible for installing stormwater control measures (SCMs).

e. Innovative stormwater SCMs and practices shall be utilized that meet or exceed the requirements of the current version of the North Carolina Division of Water Quality *Stormwater Best Management Practices Manual* (Latest Edition).

f. The developer shall collaborate with County staff during the SCM design process.

g. Stormwater facilities will be designed to meet current Ordinances with the development of each individual Development Area within the Project.

9. **Water Supply and Sewage Disposal.** Please refer to Section 6: *Utilities and Other Public Services*.

10. **Natural Area Protections.** Project shall adhere to any and all applicable regulations contained within the UDO addressing the protection of the natural area around identified streams or water bodies. As previously indicated herein all floodplains, wetlands, streams, water bodies, etc. shall be required to observe applicable buffers as detailed within Section 6.13 *Stream Buffers* of the UDO or will be permitted for impact through the appropriate channels.

11. **Water Efficiency.** The applicant will attempt to utilize onsite runoff to the greatest extent practical for irrigation purposes and to provide regional stormwater ponds that will be available to individual site developers for irrigation purposes.

**C. Site & Architectural Design Standards.**

**(NOTE THAT DEPICTIONS BELOW ARE FOR ILLUSTRATIVE PURPOSES ONLY AND DO NOT REPRESENT ACTUAL TENANTS OR OPERATORS):**

**1. Development Area 1.** Development Area 1 (Buc-ee’s Travel Center) building design and construction shall represent Class A standards in every respect for a use of its kind. The architectural elevation renderings of a typical Buc-ee’s Travel Center are attached hereto as Exhibit I. Final architectural plans submitted to regulatory agencies for building permit review and approval will be substantially similar to the design, materials, and color palette represented on Exhibit I. The material set forth on Exhibit I shall apply to development within Development Area 1 only.

**2. Development Areas 2-5.** The following provisions shall govern development only within Development Areas 2-5:

**a. General Intent.** It is intended that Rezoning Plan provide a horizontal mix of uses as permitted in the MPD-CZ district in a manner that creates a unified development pattern with generally coordinated streetscape elements, landscaping, open spaces and quality building materials. The Rezoning Plan will seek to emphasize connections between uses.

**b. Building Materials.** The principal buildings constructed on the Site may use a variety of building materials. The building materials used for such buildings (other than structured parking facilities, if any) shall be permitted follows:

i. The following exterior finishes and/or siding materials shall be allowed throughout the Project:



ii. Cement/concrete siding, such as Hardi-plank or equal material, shall be used to simulate wood and wood trusses where a rustic look is desired,

- iii. Brick and/or stucco,
- iv. Concrete in pre-cast or cast-in-place (CIP) applications shall be allowed. Where such material is utilized, large expanses will be broken-up and modulated with architectural variations like scoring, reveals, ornamental embellishments, etc.
- v. Dry-stack and/or ashlar stone may be used as an identifying characteristic,
- vi. Concrete masonry units (CMU's). For this Project, CMUs shall be:
- vii. Standard block, painted for service areas out of public view, rears of parapets, etc OR
- viii. Split-face and/or ground face CMU's
- ix. All storefronts and glass walls shall utilize glazing and reflective, and/or mirrored glass is prohibited.

**c. Roof lines.** With respect to roof lines and design, the following standards shall apply:

- i. Roof designs that serve to enhance the capture of natural light shall be encouraged,
- ii. All rooftop HVAC equipment, elevator overrides, and other similar devices will either be:
  - Clad in exterior materials that are not reflective or illuminated and are stealth-like in their appearance, OR
  - Are designed as an architectural feature, OR
  - Screened through some vegetative buffer or fencing.
- iii. Solar panels shall be allowed (but not required) to be installed along roof tops, including raised panels to allow for tracking of the sun's rays, so long as:
  - The panels do not create sufficient glare to create a public safety hazard, and
  - The panels are screened from view at street level,
  - The installation of these devices shall be reviewed and approved by the Orange County Planning Department on a case-by-case basis.
- iv. Slopped standing seam metal roofs shall be permitted as long as they are designed to blend in with the architecture of the building and the district,
- v. Flat roofs comprised of TCP, EPDM, rubber single-ply membrane and other similar products shall be permitted as long as the applicant demonstrates that the roof shall be hidden or shielded from the public's street view through the use of parapets, railings, or balusters.



- d. Service Areas & Mechanical Equipment.** The service areas of the new buildings will be screened from the adjoining Public Roads with walls designed to complement the building architecture of the adjacent buildings and/or landscaping. Architectural features such as, but not limited to, banding, medallions, changes in color or design features or materials will be provided to avoid a sterile, unarticulated blank treatment of such walls.
- e. Screening of Structures.** Meter banks, transformers and similar utility structures will be screened where visible from public view at grade level.
- f. Backflow Preventers.** Above ground back flow preventers and transformers will not be located within the Open Space Areas or within the required Urban Open Space unless they are required to serve the Open Space Areas in which they are located. Above ground back flow preventers and transformers that are located within the Open Space Areas as allowed by this Section will be screened.
- g. Mechanical Equipment Screening.** Roof top HVAC and related mechanical equipment will be screened from public view at grade level at the right-of-way location.
- h. Dumpster Screening.** Dumpster areas and recycling areas will be enclosed by a solid wall or fence with one side being a decorative gate. The wall or fence used to enclose the dumpster will be architecturally compatible with the building materials and colors used on the principal building.
- i. Accessory Buildings.** Any and all accessory buildings and enclosures whether attached to or detached from the main building, including automatic teller machines, shall be designed to complement the site architecture and shall be integrated with the same scale, texture, color and detailing of adjacent architectural design,
- j.** The applicable components of the Project will comply with applicable provisions of the ADA.

**k.** Any required deviation to address NCDOT drive slope requirements shall be limited to occur along access drives and/or between individual districts to avoid internal tract slope conflict creating accessibility issues.

**D. Setbacks**

Setbacks for any and all structures located within the Project shall be as follows:

<b>Setback from Property Lines</b>	<b>Freestanding Buildings and Structures + Vehicular Use Areas</b>	<b>Signs</b>
Interstate 85 / Interstate 40	One hundred (100) feet average Forty (40) feet minimum	10' from public right-of-way
Interstate 85 Connector / U.S. Highway 70	Forty (40) feet	10' from public right-of-way
Mount Willing Road	Forty (40) feet	10' from public right-of-way 100' from residential uses
External Rear Property Line	Forty (40) feet	10' from public right-of-way 100' from residential uses
Internal Front, Side, and Rear (Development Area 1)	Zero (0) feet	5' from private right-of-way 10' from public right-of-way
Internal Front, Side, and Rear (Development Areas 2-6)	Twenty (20) feet	5' from private right-of-way

**E. Landscaping and Preservation Standards.** The Landscaping, Buffer, and Tree Protection Plan for the Project will differ from the UDO in order to provide relief from internal development issues but other enhancements providing creative alternatives that meet the intent and spirit of the UDO requirements shall be implemented. Accordingly, the Project shall adhere to the following Landscaping, Buffer, and Tree Protection standards:

1. Formal landscape plans shall be submitted to the Orange County Planning Department for review at the appropriate time as part of each individual site plan for review and approval consistent with approved standards as part of the Rezoning Plan.
2. All required internal landscaping shall be installed and maintained by the developer or their successor in perpetuity.

3. Land Use Buffers

a. The required land use buffers shall be in accordance with the following:

i. For all Development Areas, land use buffers will utilize existing vegetation to meet the proposed planting standards when possible. If existing vegetation is utilized, a minimum of fifty percent (50%) of the critical root zone of the existing tree must be within the buffer in order to apply towards buffer standards.

ii. For all Development Areas, if a portion of any land use buffer must be disturbed to facilitate development, the disturbed portion will be planted in conformance with the buffer type and option (mixed / overhead utility / deciduous) as depicted on the approved Landscape Buffer Plan (Sheet C6.0) included in the Rezoning Plan.

iii. For all development areas, all perimeter landscape buffers will match the widths illustrated on the approved Landscape Buffer Plan (Sheet C6.0). This applies to both disturbed and undisturbed buffers.

4. Planting Requirements – Street Trees. Street trees will be required at the rate of one canopy tree, either deciduous or evergreen, for every 100 feet of street frontage along existing and proposed public streets, not including alleys, when above and below ground utilities and stormwater infrastructure allow. Canopy trees required as part of land use buffers may also be applied towards the street tree requirement.

5. Planting Requirements – Between Lot Plantings. Between lot plantings will not be required on any Development Area.

6. Planting Requirements – Foundation Plantings. The required foundation plantings shall be in accordance with the following:

a. For Development Area 1, foundation plantings and / or landscape areas will not be required.

b. Development Areas 2 – 6 will provide a landscape area at least five feet (5') wide for a minimum of fifty percent (50%) of the primary frontage side of the building.

7. Landscaping of Vehicular Use Areas. The required landscaping within parking areas shall be in accordance with the following:

a. For Development Area 1, no landscape area shall be provided between the vehicular use areas and the right of way or adjacent property line.

b. Development Areas 2 – 6 will include a landscape area at least five feet in width (which may include drainage and/or utility easements).

8. For Development Area 1, a hedge of at least two feet in height at maturity shall be installed to provide a continuous opaque landscape barrier between parking spaces and public streets only for the purpose of reducing glare and visual distractions to passing motorists and to adjacent properties. Berms and / or fences or a combination of both may also be utilized in place of a hedge. Shrubs required to satisfy the land use buffer requirements may also be applied towards this requirement. Development Areas 2 – 6 will follow UDO Section 6.8.7.D.

9. Interior Landscaping. The required interior landscaping shall be in accordance with the following:

a. For Development Area 1, the applicant / developer is required to demonstrate that fifty percent (50%) of a portion of the vehicular parking spaces are within seventy-five feet (75') of the center of a canopy tree where above and below ground utilities and stormwater infrastructure allow. Development Areas 2 – 6 will follow UDO Section 6.8.7.D in effect as of the approve of the Rezoning Plan.

b. For Development Area 1, no more than ten parking spaces shall be permitted in a continuous row without being interrupted by a terminal landscape island except when directly adjacent to a building. No terminal landscape islands will be required for the first row of parking spaces when directly adjacent to any side of any building. When required, terminal landscape islands will be a minimum of 200 square feet and may include pavers and / or decorative stone within the required 200 square feet of the landscape island. Each terminal landscape island will be planted with a minimum of one canopy tree, as well as shrubs and / or ground cover where above and below ground utilities and stormwater infrastructure allow. For Development Areas 2–5, no more than ten parking spaces shall be permitted in a continuous row without being interrupted by a terminal landscape island. Terminal landscape islands for Development Areas 2–5 will be a minimum of 200 square feet. Each terminal landscape island will be planted with a minimum of one canopy tree, as well as shrubs and / or ground cover where above and below ground utilities and stormwater infrastructure allow.

10. Screening. The required screening shall be in accordance with UDO Section 6.8.9 for all Development Areas.

#### **F. Sign Standards.**

1. **Development Area 1 - Buc-ee's Travel Center:** See attached Exhibit D.1.

2. **Development Areas 2-5 - Monument Signs:** Monument style ground signs identifying the names of tenants within each Development Area shall be located within each Development Area in a location that is visible to the traveling public shown for representative purposes only on Exhibit D.2 attached hereto. These signs shall follow the following criteria:

a. **Maximum Number:** Two (2) signs on Development Area 2  
Two (2) signs on Development Area 3

One (1) sign on Development Area 4

Three (3) signs on Development Area 5

- b. **Maximum Structure Height:** Twenty (20) feet
  - c. **Maximum Structure Width:** Sixteen (16) feet
  - d. **Maximum Size:** Two hundred forty (240) square feet of sign panel area.
  - e. **Style of Sign:** Monument Sign design and construction as represented on Exhibit D.3 attached shall be consistent throughout the Project and subject to review and approval by the ARB.
  - f. **Setback from right-of-way:** Ten (10) feet
  - g. **Setback from private road:** Five (5) feet
3. **Development Areas 2-5 - Wall and Building Signs:** Wall and Building Signage for any building on Development Areas 2-5, including single and multi-tenant buildings, shall follow the criteria set forth in Exhibit D.4 attached hereto.
4. **Development Areas 2-5 - Miscellaneous Signs and Flags:** The following criteria shall apply to Development Areas 2-5:
- a. **Directional Signs:**
    - i. Limited to necessary information for patrons (e.g. entrance/exit, directional, one-way)
    - ii. May not exceed 4 square feet in sign area
    - iii. May not exceed 4 feet in height
    - iv. Maximum of four (4) per building within any particular Development Area
  - b. **Temporary Real Estate, Construction, and Financing Signs:**
    - i. No sign shall exceed 24 square feet in area
    - ii. No more than two (2) signs per building site
    - iii. Construction and Financing Signs must be removed within 10 days of receipt of certificate of occupancy for any one building site
  - c. **Flags:**
    - i. One flagpole and two (2) flags shall be allowed at each building site
    - ii. Flags may not exceed 24 square feet each
    - iii. Flagpoles may not exceed 24 feet in height
5. **ARB Review.** All signage for Development Areas 2-5 shall be reviewed and approved by an architectural review board established by the developer.

## **G. Lighting Standards.**

1. **Development Area 1.** Development Area 1 is partially illuminated in the existing condition by lights located along Interstate 40 / Interstate 85, but additional lighting is necessary to ensure safety and security for all patrons of Buc-ee's. Ensuring a safe environment with minimal dark places is paramount to improve vehicle and pedestrian visibility and safety within the project. Therefore, the lighting plan will demonstrate compliance with Section 6.11 of the UDO with the following allowances for Development Area 1:

- No restriction on the maximum foot-candles at the property lines adjoining internal parcels or Interstate 40 / Interstate 85
- Maximum 1.0 foot-candle at all other adjacent property lines
- No restriction on the maximum foot-candles within Development Area 1
- Maximum 36' pole height
- All fixtures are to be full cutoff
- No restrictions on placement of fixtures if foot-candle and height requirements listed above are met

2. **Development Areas 2–5.** For Development Areas 2–5, all outdoor lighting erected shall be required to demonstrate compliance with applicable County regulations per Section 6.11 of the UDO with the following allowances:

- No maximum foot-candle at the property lines adjoining internal parcels or Interstate 40 / Interstate 85.
- Maximum 0.5 foot-candle at all other adjacent property lines.
- No restriction on the maximum foot-candles within the Development Area.
- Maximum 36' pole height.
- All fixtures are to be full cutoff.

## **H. Sustainable Design & Development Initiatives**

**(NOTE THAT DEPICTIONS BELOW ARE FOR ILLUSTRATIVE PURPOSES ONLY AND DO NOT REPRESENT ACTUAL DESIGN REQUIREMENTS).**

1. Project will encourage integration of geographically relevant sustainable design features where practical, including:

- Rainwater harvesting for landscape irrigation mitigationSolar infrastructure installations on rooftops or in adjacent areas as part of associated building design.
- Electric Vehicle Charging Stations: (i) a paved EV charging station area including the required electrical conduit system will be reserved within Development Area 1, (but completion of the charging station installation would occur at Applicant's sole discretion) and, (ii) as to other Development Areas, EV charging stations will be encouraged, provided that such facilities shall be ancillary to a principal land use and as a service to patrons or employees.
- Other possible renewables.
- **See Section 3-2 for reservation of Development Area 6 for transit supportive facilities.**
- Consideration of L.E.E.D certified practices for components of the Project where feasible.

## III. TRANSPORTATION & PARKING

### SECTION 3-1 TRANSPORTATION - GENERAL

**A. Standards.** Any new public streets and improvements to the existing public street network will be constructed to NCDOT public road standards in accordance with NCDOT requirements and guidelines, the Rezoning Plan, and the standards outlined herein.

**B. Phasing of Improvements & Development.** Construction of new private streets and improvements to the existing public street network may be phased subject to a phasing analysis/plan approved by NCDOT, provided, however, it is understood that Section 2-4 and *Table 2-4C* set forth Phase I level of development that is permitted upon substantial completion of the Phase I Improvements described in Section 3-6 below and Phase II level of development that is permitted upon substantial completion of the Phase II Improvements described in Section 3-6 below. Furthermore, Applicant may undertake subphases of development within the overall Phase I level of development and Phase I Improvements, as well as overall Phase II level of development and Phase II Improvements, based on appropriate traffic engineering analysis conducted in accordance with applicable standards and reasonably acceptable to NCDOT and/or Orange County transportation officials. Any adjustments in the level of required roadway improvements shall be approved administratively.

**C. Right of Way Availability.** Within acceptable design parameters, efforts will be made to accommodate offsite roadway improvements within the existing road rights-of-way. To the extent, after efforts to accommodate including consideration of any alternative improvements/design changes, some of the improvements may not be possible without acquisition of additional right of way, and such right of way is unable to be acquired after good faith efforts of Applicant, then the applicable governmental body may agree to proceed with acquisition of such needed land/right of way. In such event, Applicant shall reimburse the applicable agency for the cost of any such acquisition proceedings and the compensation for the land.

**D. Traffic Signals.** All traffic signals shall be installed using metal pole construction. NCDOT shall approve all metal traffic signal poles, both internal and external, prior to installation.

**E. Access Management.** The developer shall identify and develop entrances and exits for pedestrian and construction vehicular traffic during the development of the Project to minimize conflicts.

**F. Traffic Control.** All required regulator, traffic control and traffic informational/directional signage will be installed per NCDOT standards and requirements.

### SECTION 3-2 ALTERNATIVE TRANSPORTATION

**A. Development Area 6 – Future Transit Facilities.** In order to support the multi-modal transportation vision of the Comprehensive Plan, Development Area 6 containing approximately 1.8 acres shall be reserved for possible transit shelter services. Applicant shall cooperate in good faith with the County in the review of plans for the installation by the County or other third parties of transit/bus related facilities such as bus passenger shelters and appropriate access management, provided that approval of such plans shall be in Applicant’s sole discretion.

### **SECTION 3-3 INTERNAL TRAFFIC CIRCULATION AND PARKING**

A. The timeline for internal street improvements shall be as follows:

1. Internal thoroughfares and main roadways shall be constructed in a minimum of two phases per Sheet C5.0 of the Master Plan. The proposed phasing shown is conceptual and subject to change as site plans are submitted for individual Development Areas.
2. Access to the site from Mt. Willing Road will not be required until Development Area 5 is developed or Development Areas 2 – 4 are developed with uses generating over 50% of the total allowable trips.
3. Roadways and drive-cuts affording internal access within Development Areas shall only be constructed after detailed site plans are approved by the County.

B. All streets and sidewalks shall be designated as available for general public use through an easement(s), if not otherwise dedicated to a public entity.

C. Crosswalks shall be painted, or otherwise delineated, within the roadways to signify pedestrian crossing points.

D. The developer shall install pedestrian signals only where traffic signals are located, providing assistance to deaf and visually impaired individuals announcing when it is safe to cross thoroughfares.

E. Any proposed land use requiring drop-off zones/areas shall be provided space(s) near building entrances and segregated from required parking spaces and/or vehicular travel lanes.

F. Parking areas shall be separated from structures by:

1. A raised concrete walkway, or
2. A landscaped buffer/natural area, or
3. A segregated pedestrian walkway.

In no case will parking be allowed to directly abut a proposed structure at the same grade without wheel stops or other measures in an effort to protect pedestrians from parking areas.

G. Parking areas shall be designed so that pedestrians walk parallel to moving cars in order to minimize the need for pedestrians to cross parking aisles and landscape areas.

H. Curb stops shall be required in all parking lots in cases where there is no proposed island, landscape area, or sidewalk to provide a traffic break.

- I. Drive aisles for parking areas shall meet the following minimum width requirements as described in Section 6.9.10 of the UDO.
- J. Parking for individual land uses shall be based on the following standards:
1. One (1) space for every three hundred (300) square feet of floor space within a **Retail Trade** facility.
  2. One (1) space for every three hundred (300) square feet of retail floor space within a **Car Wash** facility (not including space within the tunnel). There shall be no maximum number of vacuum spaces or standard spaces allowed.
  3. One (1) space for every two hundred (200) square feet of floor area and five (5) stacking spaces per drive-in window within a **Bank or Financial Institution**.
  4. One (1) space for every three hundred (300) square feet of floor area within an **Office or Service** facility.
  5. One (1) parking space for every four (4) seats or 1 space for every fifty (50) square feet of floor area for public use, whichever is greater, within a **Restaurant (Eating and Drinking Establishment)**.
  6. One (1) space per lodging unit within a **Hotel (Short Term Rental; Non-Host Occupied)** plus one (1) space per shift employee
  7. One (1) space per one thousand (1,000) square feet of floor area within a **Manufacturing** facility.
  8. All other light industrial except as listed above shall have one space per one thousand (1,000) square feet of floor area.
- K. All parking lot spaces, unless otherwise designated, shall be a minimum of nine (9) feet by eighteen (18) feet.
- L. The overall maximum amount of surface parking permitted for the entire development combined (with the exception of Development Area 1 and associated car wash facilities), shall be one 20% over the required minimum per total Development Area. Development Area 1 and associated car wash facilities shall have no maximum number of spaces allowed.
- M. Required parking spaces may be reduced by thirty percent (30%) within a given Development Area or other development area if the developer adheres to the following:
1. The spaces allotted for each individual use shall be shown on the application for a Zoning Compliance Permit,
  2. The distance from the farthest allotted space to the main entrance of a structure housing the use that it is intended to serve not to be more than four hundred (400) feet,
  3. The spaces shall be located within the same Development Area or within four hundred (400) feet of the proposed use to qualify for a reduction on the required parking,

4. Twenty percent (20%) may be compact car parking with a dimension of eight (8) feet in width and sixteen (16) feet in depth.
- N. All required parking spaces shall be improved with asphalt, concrete or other similar material as approved by the County,
- O. Handicapped parking shall be provided in accordance with the standards of the State of North Carolina Building Code.
- P. All lease agreements, or individual sales documents, for future tenants shall include provisions requiring the installation and maintenance of bicycle racks or other similar secure location for the storage of bicycles within the development.

### **SECTION 3-4 SERVICE AND STORAGE**

- A. Off-street loading (loading berths) shall be provided at a minimum of one (1) space for each five thousand (5,000) square feet of floor area, not to exceed three (3) berths.
- B. A loading berth shall adhere to the following dimensional requirements:
1. A minimum width of twelve (12) feet,
  2. A minimum depth of sixty (60) feet, and
  3. A vertical clearance of sixteen (16) feet above finished grade of the space.

### **SECTION 3-5 TIA IMPROVEMENTS SUMMARY**

- A. Improvements listed below shall be constructed as part of Phase I of the Project.

#### Mt. Willing Road – I-40 WB Ramps

- Construct a westbound left-turn lane with 280 feet of storage and an appropriate taper on the I-40 WB Ramp.
- Extend the existing channelized westbound right-turn lane on I-40 WB Ramp to provide a continuous channelized westbound right-turn lane between West RI/RO Driveway and Mt. Willing Road.
- Restripe the existing westbound shared left-turn lane on I-40 WB Ramp to provide an exclusive through lane.
- Install a traffic signal.

#### US-70/I-40 Connector – I-40 EB Ramps

- Restripe the existing eastbound right turn lane and remove right turn channelization on the I-40 EB Ramp to provide a continuous shared left/through/right-turn lane.
- Widen the I-40 EB Ramp to provide an exclusive eastbound left-turn lane with 400 feet of storage and an appropriate taper.

- Extend the existing exclusive southbound left-turn lane on US-70/I-40 Connector to provide 400 feet of storage and an appropriate taper.
- Construct an additional northbound receiving lane on US-70/I-40 Connector.
- Install a traffic signal.

#### US-70/I-40 Connector – I-40 WB Ramps

- Restripe the existing westbound left-turn lane on I-40 WB Ramp to provide an exclusive through lane
- Construct a westbound shared through/left-turn lane with 450 feet of storage and an appropriate taper on I-40 WB Ramp
- Widen the I-40 WB Ramp to provide dual westbound right-turn lanes with 450 feet of storage and appropriate tapers
- Construct a second receiving lane on I-40 WB ramp departure, extending to I-40 WB Service Road
- Extend the existing northbound left-turn lane to provide a continuous left-turn lane and a continuous through lane on the northbound approach of US-70/I-40 Connector
- Install a traffic signal

#### US-70/I-40 Connector – Ben Johnston Road/Site Driveway

- Construct a site driveway on US-70/I-40 Connector Road opposite Ben Johnston Road to provide two ingress lanes, and three egress lanes: (a left-turn lane with a minimum 100 feet of storage, a continuous through lane, and a right-turn lane with a minimum 250 feet of storage).
- Construct an exclusive westbound left-turn lane on Ben Johnston Road with 200 feet of storage and an appropriate taper
- Restripe the existing lane on Ben Johnston Road to provide a continuous westbound shared through/right-turn lane
- Construct dual northbound left-turn lanes with 300 feet of storage and appropriate tapers on US-70/I-40 Connector
- Install a traffic signal.

#### I-40 WB Ramp – East RI/RO Site Driveway

- Construct the site driveway as a right-in/right-out access, with one ingress lane and one egress lane.
- Remove the existing I-40 WB Exit Ramp (WB Exit 160)
- Widen the westbound I-40 WB Ramp to provide a continuous through lane and a continuous shared through/right-turn lane on I-40 WB Service Road through this intersection, tying into

the existing two-lane cross section on the I-40 WB Service Road just west of the exiting WB Exit 160 Ramp junction.

I-40 WB Ramp – West RI/RO Site Driveway

- Construct the site driveway as a right-in/right-out access, with one ingress lane and one egress lane.
- Widen the I-40 WB Ramp to provide an exclusive right-turn lane with 200 feet of storage and an appropriate taper.

## IV. UTILITIES AND OTHER PUBLIC SERVICES

A. A written, signed agreement between the Applicant and the Orange County and/or the Town of Mebane and/or Orange-Alamance Water System shall be executed, which describes the timing, phasing, design, and financing of public water distribution and public sanitary sewer collection mains for the project. Water and sewer services shall be made available consistent with the following:

1. **Water.** As part of the development Project, the developer shall submit a detailed Utility Master Plan for review and approval to Orange County and Orange-Alamance Water System outlining the appropriate steps that will be taken to provide water service to the Districts. It is anticipated that the water service capacity needs of the development will require a water tower on site, in addition to upgrading the existing infrastructure from US 70 along Mt Willing Road to a 12" water main. Final hydrant location shall be review and approved by the County Fire Marshal's offices as part of the typical site plan review process.

2. **Sewer.** Sewer Collection will be supplied to the Project in a phased format consistent with the phasing outlined herein. As part of the development project, the developer shall submit a detailed Utility Master Plan for review and approval to Orange County and the Town of Mebane the appropriate steps that will be taken to provide sewer service to the Districts. Sanitary sewer service will be reviewed and approved by the Town of Mebane as part of the typical site plan review process.

B. Additional improvements to serve the Project may be required upon the submission and review of comprehensive utility management plans by Orange County, Town of Mebane, and Orange-Alamance Water System. Water and wastewater treatment services will be provided in the event public water/sewer cannot be extended. Utilities shall be designed in accordance with the Town and County standards.

## V. OPEN SPACE

The Open Space Plan for the Project will differ from the requirements as outlined in the UDO in order to provide relief from internal development issues. The Project shall adhere to the following Open Space standards:

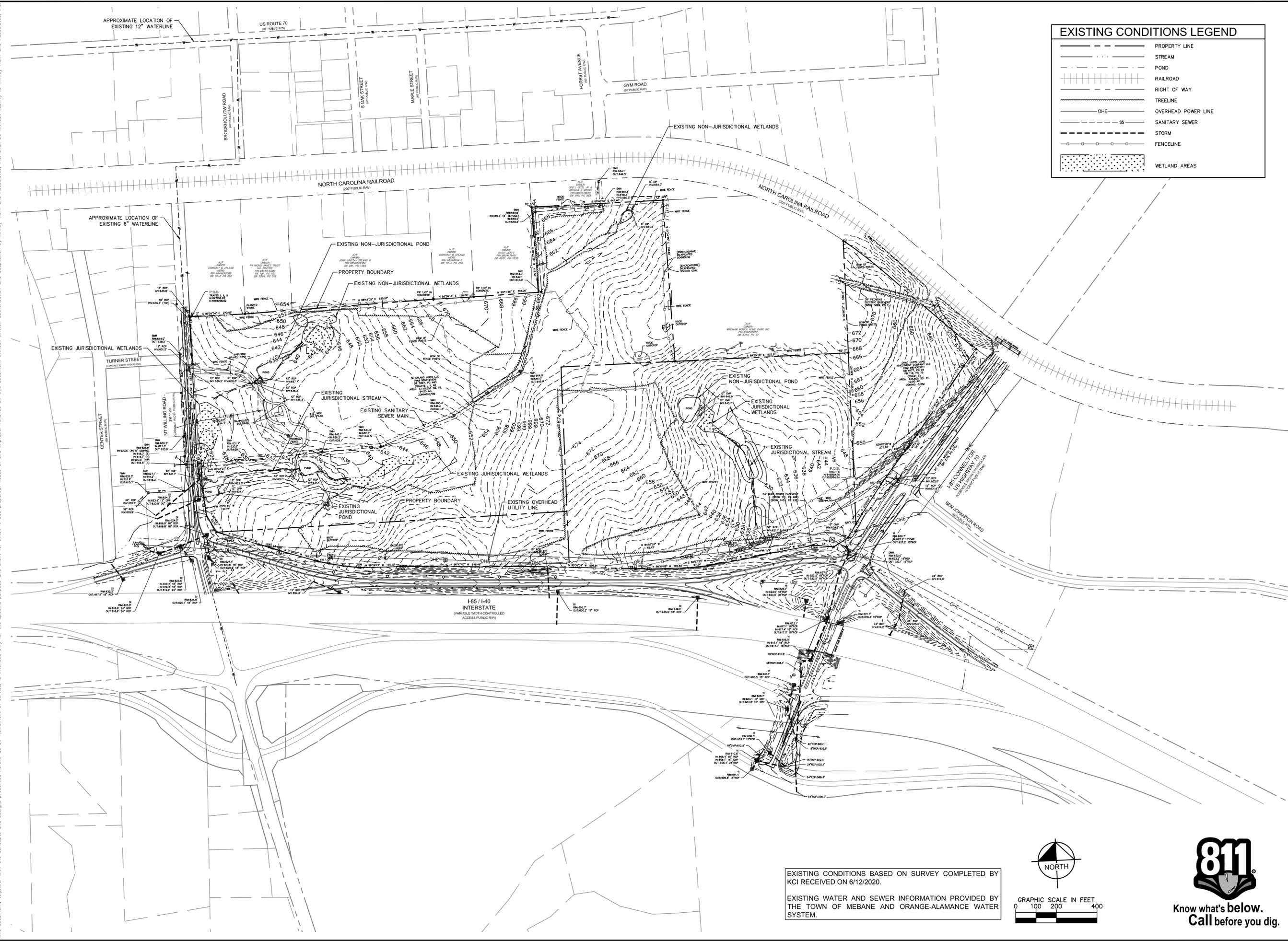
The Project will preserve a minimum of thirty percent (30%) of the entire development acreage as open space. Open space may include preserved natural areas, constructed trails, maintained turf areas, picnic shelters, recreation spaces, stormwater retention or detention areas, easements, and wetlands. All areas restricted from development such as mapped 100-year flood plains, stormwater control measures, wetlands, streams, stream buffers, landscape areas, required Land Use Buffers, and similar areas shall count towards this requirement. This will satisfy the open space requirements for all proposed and future tracts included as part of Project.

## **VI. JOBS & ECONOMIC DEVELOPMENT BENEFITS.**

To be forthcoming.

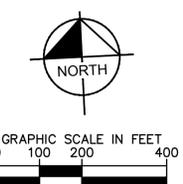
# REZONING PLAN SHEETS

Plotted By: Vinter, Rebecca - Sheet Set: Buc-ess Eiland - Layout: C1.0 - Existing Conditions - August 06, 2020 - 05:12:56pm - K:\RAL\DEVA\013284003 - Buc-ess Eiland\08\_CAD Files\PlanSheets\C1.0 - EXISTING CONDITIONS.dwg  
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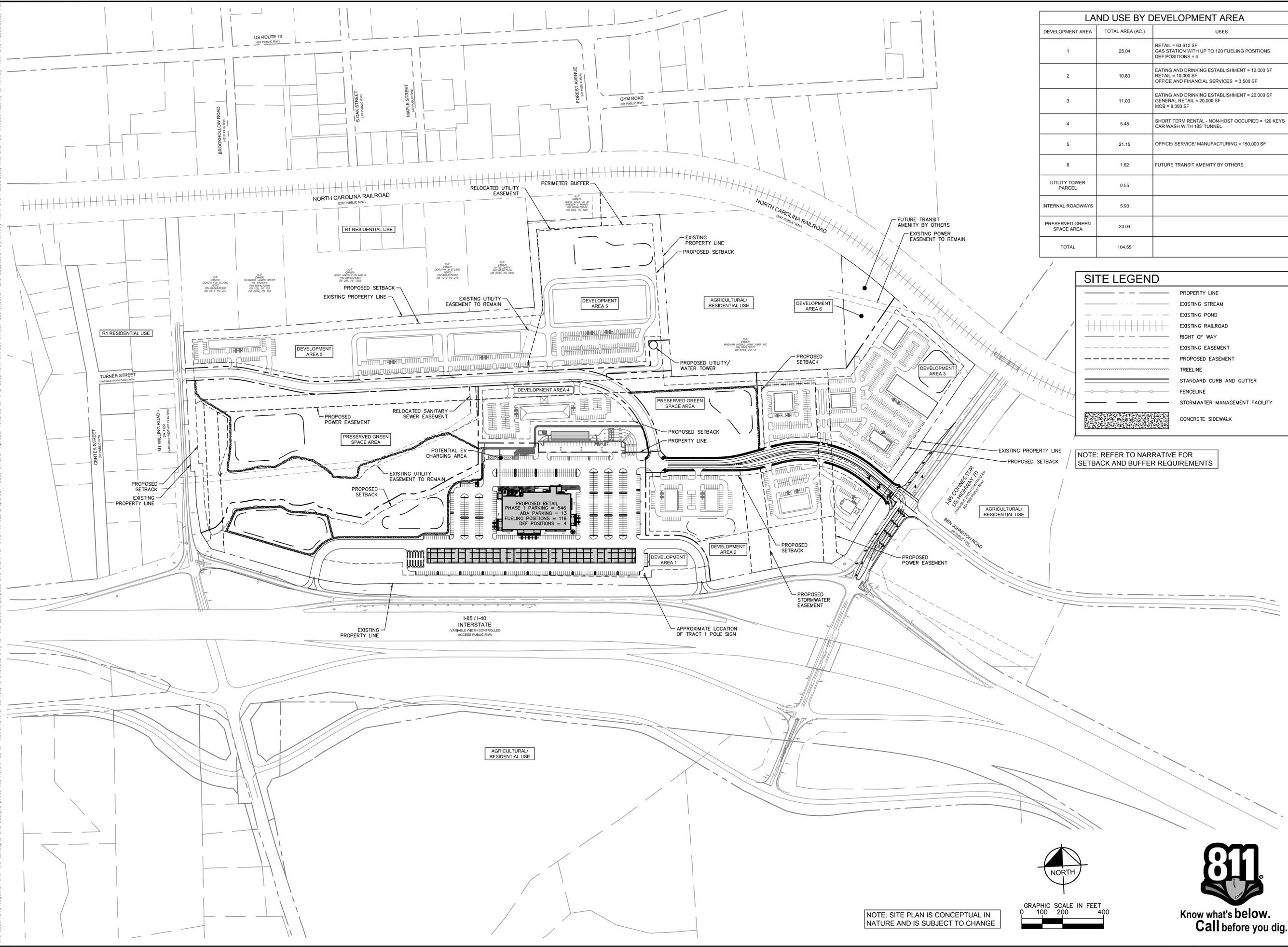
	PROPERTY LINE
	STREAM
	POND
	RAILROAD
	RIGHT OF WAY
	TREELINE
	OHE OVERHEAD POWER LINE
	SS SANITARY SEWER
	STORM
	FENCELINE
	WETLAND AREAS

EXISTING CONDITIONS BASED ON SURVEY COMPLETED BY KCI RECEIVED ON 6/12/2020.  
 EXISTING WATER AND SEWER INFORMATION PROVIDED BY THE TOWN OF MEBANE AND ORANGE-ALAMANCE WATER SYSTEM.



<b>Kimley»Horn</b> 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601 PHONE: 919-677-2000 FAX: 919-677-2050 WWW.KIMLEY-HORN.COM #F-0102	KHA PROJECT 013284003	DATE 08/07/2020	SCALE AS SHOWN	DESIGNED BY RMV DRAWN BY RMV CHECKED BY KWH	REVISIONS No. _____ BY _____ DATE _____
	BEAVER CROSSING MASTER PLAN EXISTING CONDITIONS ORANGE COUNTY NORTH CAROLINA				
SHEET NUMBER <b>C1.0</b>					

Plotted By: Vinter, Rebecca - Sheet Set: Beaver Crossing - Overall Preliminary Site Plan - August 07, 2020 - 11:19:29am - K:\VRA\LEVA\013284003\_Buc-ees-Efford\_08-CAD-Files\PlanSheets\C2.0 PRELIMINARY SITE PLAN.dwg  
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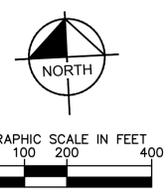


LAND USE BY DEVELOPMENT AREA		
DEVELOPMENT AREA	TOTAL AREA (AC.)	USES
1	25.04	RETAIL = 63,610 SF GAS STATION WITH UP TO 120 FUELING POSITIONS DEF POSITIONS = 4
2	10.80	EATING AND DRINKING ESTABLISHMENT = 12,000 SF RETAIL = 10,000 SF OFFICE AND FINANCIAL SERVICES = 3,500 SF
3	11.00	EATING AND DRINKING ESTABLISHMENT = 20,000 SF GENERAL RETAIL = 20,000 SF MOB = 8,000 SF
4	5.45	SHORT TERM RENTAL - NON-HOST OCCUPIED = 120 KEYS CAR WASH WITH 185' TUNNEL
5	21.15	OFFICE/ SERVICE/ MANUFACTURING = 150,000 SF
6	1.62	FUTURE TRANSIT AMENITY BY OTHERS
UTILITY TOWER PARCEL	0.55	
INTERNAL ROADWAYS	5.90	
PRESERVED GREEN SPACE AREA	23.04	
<b>TOTAL</b>	<b>104.55</b>	

**SITE LEGEND**

- PROPERTY LINE
- EXISTING STREAM
- EXISTING POND
- EXISTING RAILROAD
- RIGHT OF WAY
- EXISTING EASEMENT
- PROPOSED EASEMENT
- TREELINE
- STANDARD CURB AND GUTTER
- FENCELINE
- STORMWATER MANAGEMENT FACILITY
- CONCRETE SIDEWALK

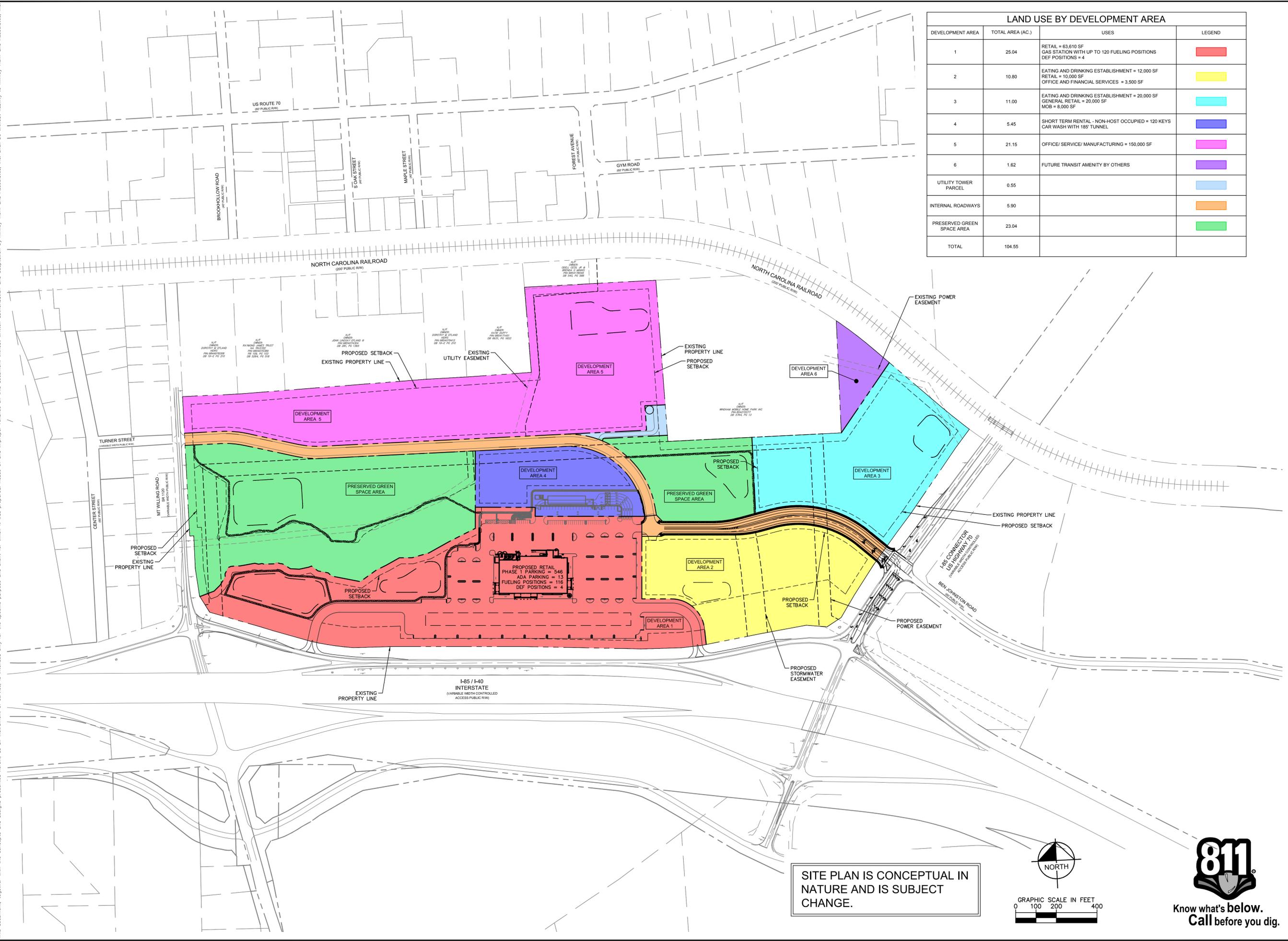
NOTE: REFER TO NARRATIVE FOR SETBACK AND BUFFER REQUIREMENTS



NOTE: SITE PLAN IS CONCEPTUAL IN NATURE AND IS SUBJECT TO CHANGE

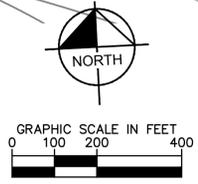
	421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601 PHONE: 919-677-2000 FAX: 919-677-2050 WWW.KIMLEY-HORN.COM #F-0102
	KHA PROJECT: 013284003 DATE: 08/07/2020 SCALE: AS SHOWN DESIGNED BY: RMV DRAWN BY: RMV CHECKED BY: KWH
OVERALL PRELIMINARY SITE PLAN	BEAVER CROSSING MASTER PLAN
ORANGE COUNTY NORTH CAROLINA	SHEET NUMBER C2.0

Plotted By: Vinter, Rebecca - Sheet: Set: BUC-ess: EPlan03\_C2.1 - August 06, 2020 - 05:15:44pm - K:\VAL\LEVA\01284003\_BUC-ess-EPlan03\_C2.1 - LAND USE PLAN - PLAN.dwg  
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LAND USE BY DEVELOPMENT AREA			
DEVELOPMENT AREA	TOTAL AREA (AC.)	USES	LEGEND
1	25.04	RETAIL = 63,610 SF GAS STATION WITH UP TO 120 FUELING POSITIONS DEF POSITIONS = 4	[Red Box]
2	10.80	EATING AND DRINKING ESTABLISHMENT = 12,000 SF RETAIL = 10,000 SF OFFICE AND FINANCIAL SERVICES = 3,500 SF	[Yellow Box]
3	11.00	EATING AND DRINKING ESTABLISHMENT = 20,000 SF GENERAL RETAIL = 20,000 SF MOB = 8,000 SF	[Cyan Box]
4	5.45	SHORT TERM RENTAL - NON-HOST OCCUPIED = 120 KEYS CAR WASH WITH 185' TUNNEL	[Blue Box]
5	21.15	OFFICE/ SERVICE/ MANUFACTURING = 150,000 SF	[Magenta Box]
6	1.62	FUTURE TRANSIT AMENITY BY OTHERS	[Purple Box]
UTILITY TOWER PARCEL	0.55		[Light Blue Box]
INTERNAL ROADWAYS	5.90		[Orange Box]
PRESERVED GREEN SPACE AREA	23.04		[Green Box]
TOTAL	104.55		

SITE PLAN IS CONCEPTUAL IN NATURE AND IS SUBJECT CHANGE.



ORANGE COUNTY NORTH CAROLINA

BEAVER CROSSING MASTER PLAN

LAND USE PLAN

Kimley»Horn

PROJECT: KHA PROJECT 013284003

DATE: 08/07/2020

SCALE: AS SHOWN

DESIGNED BY: RMV

DRAWN BY: RMV

CHECKED BY: KWH

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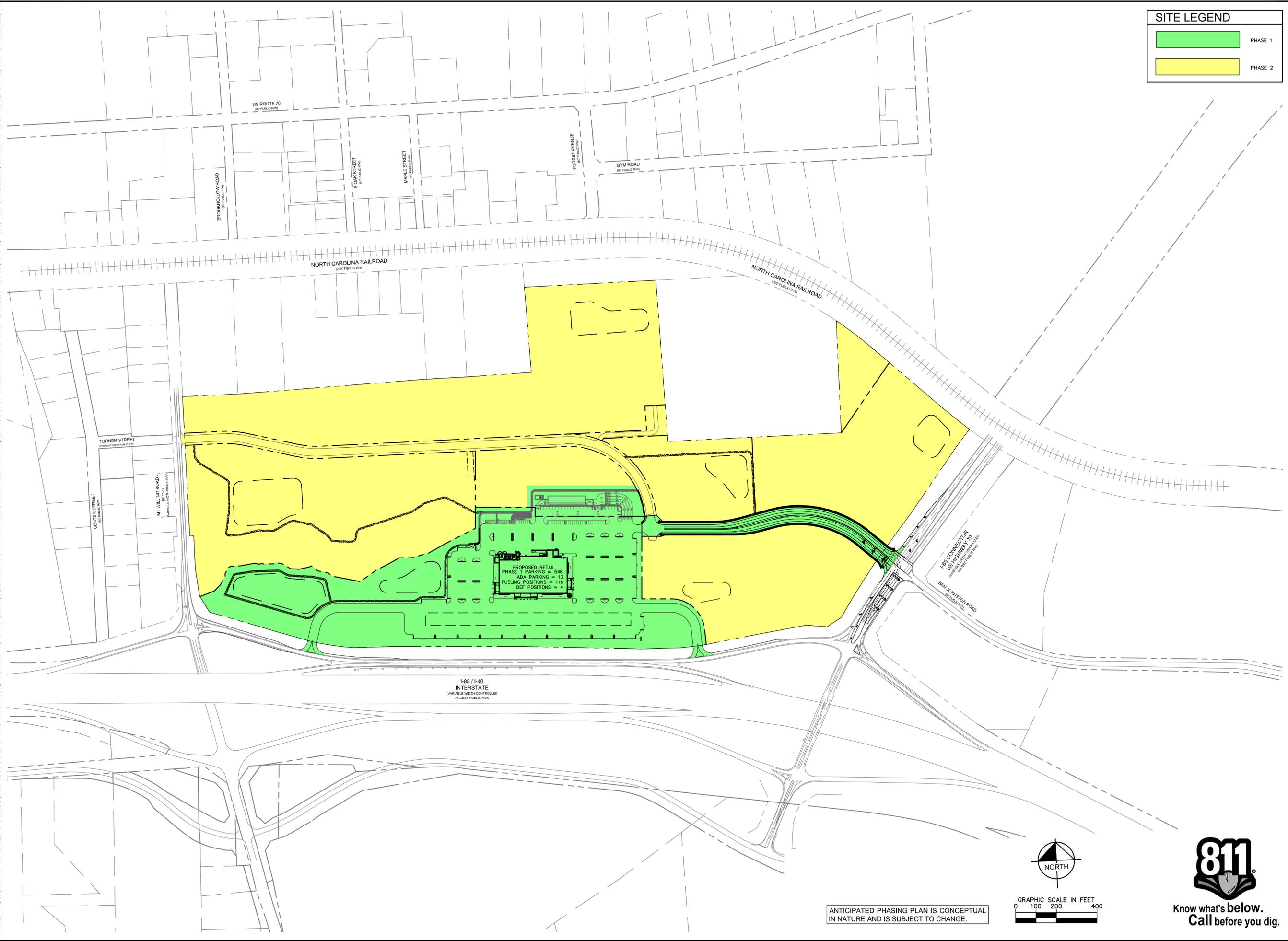
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NO. \_\_\_\_\_

REVISIONS \_\_\_\_\_

DATE \_\_\_\_\_

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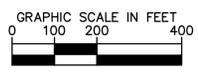


SITE LEGEND	
<span style="display:inline-block; width:20px; height:10px; background-color:lightgreen;"></span>	PHASE 1
<span style="display:inline-block; width:20px; height:10px; background-color:yellow;"></span>	PHASE 2

PROPOSED RETAIL  
 PHASE 1 PARKING = 546  
 ADA PARKING = 13  
 FUELING POSITIONS = 116  
 DEF POSITIONS = 4

I-85 / I-40  
 INTERSTATE  
 (VARIABLE WIDTH CONTROLLED  
 ACCESS PUBLIC R/W)

I-85 CONNECTOR  
 US HIGHWAY 70  
 (VARIABLE WIDTH CONTROLLED  
 ACCESS PUBLIC R/W)



ANTICIPATED PHASING PLAN IS CONCEPTUAL  
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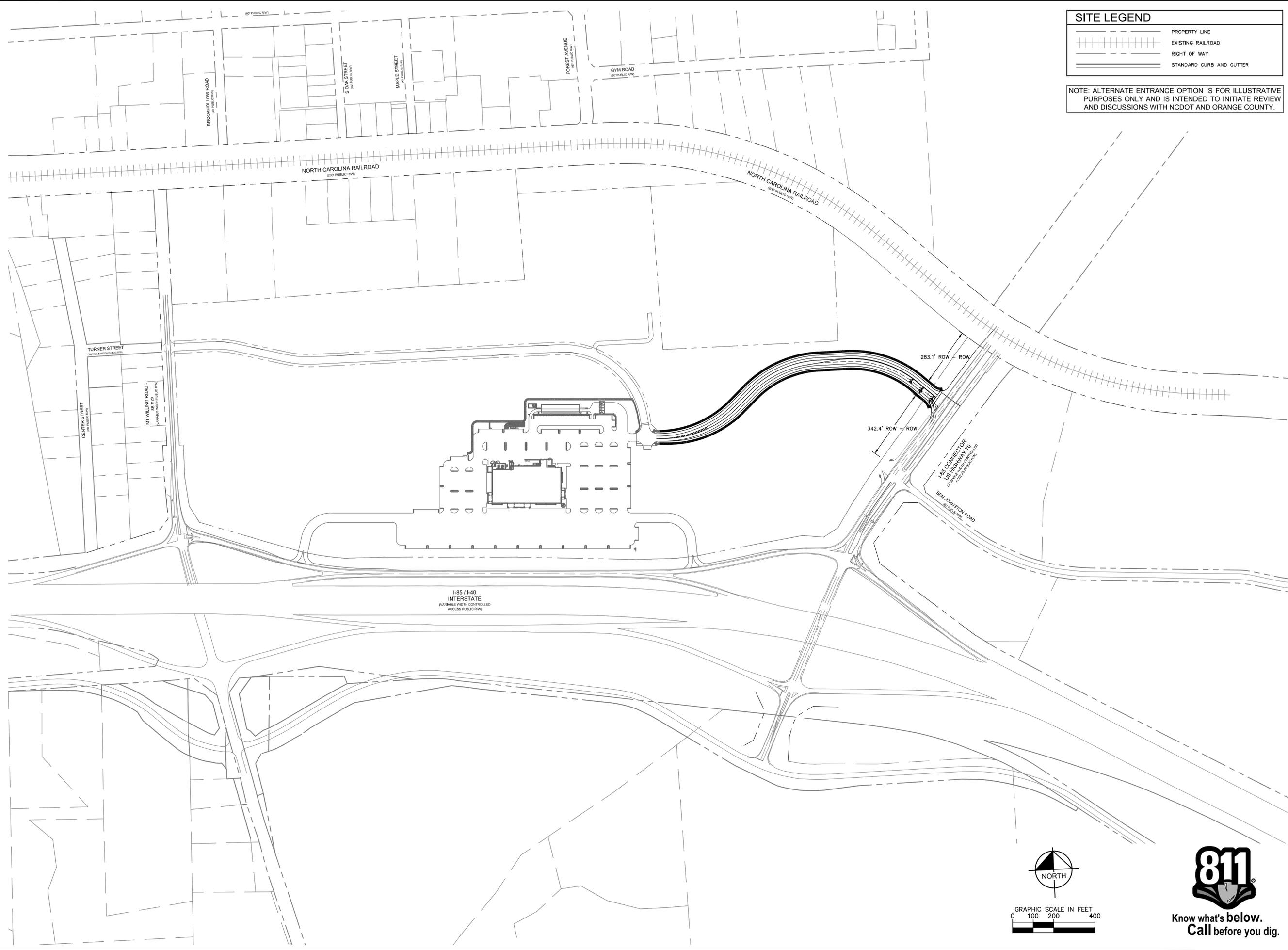
KHA PROJECT	013284003
DATE	08/07/2020
SCALE	AS SHOWN
DESIGNED BY	RMV
DRAWN BY	RMV
CHECKED BY	KWH

ANTICIPATED PHASING  
 PLAN

BEAVER CROSSING  
 MASTER PLAN  
 ORANGE COUNTY NORTH CAROLINA

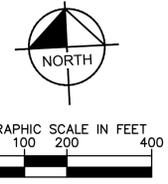
SHEET NUMBER  
**C2.2**

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SITE LEGEND	
	PROPERTY LINE
	EXISTING RAILROAD
	RIGHT OF WAY
	STANDARD CURB AND GUTTER

NOTE: ALTERNATE ENTRANCE OPTION IS FOR ILLUSTRATIVE PURPOSES ONLY AND IS INTENDED TO INITIATE REVIEW AND DISCUSSIONS WITH NCDOT AND ORANGE COUNTY.



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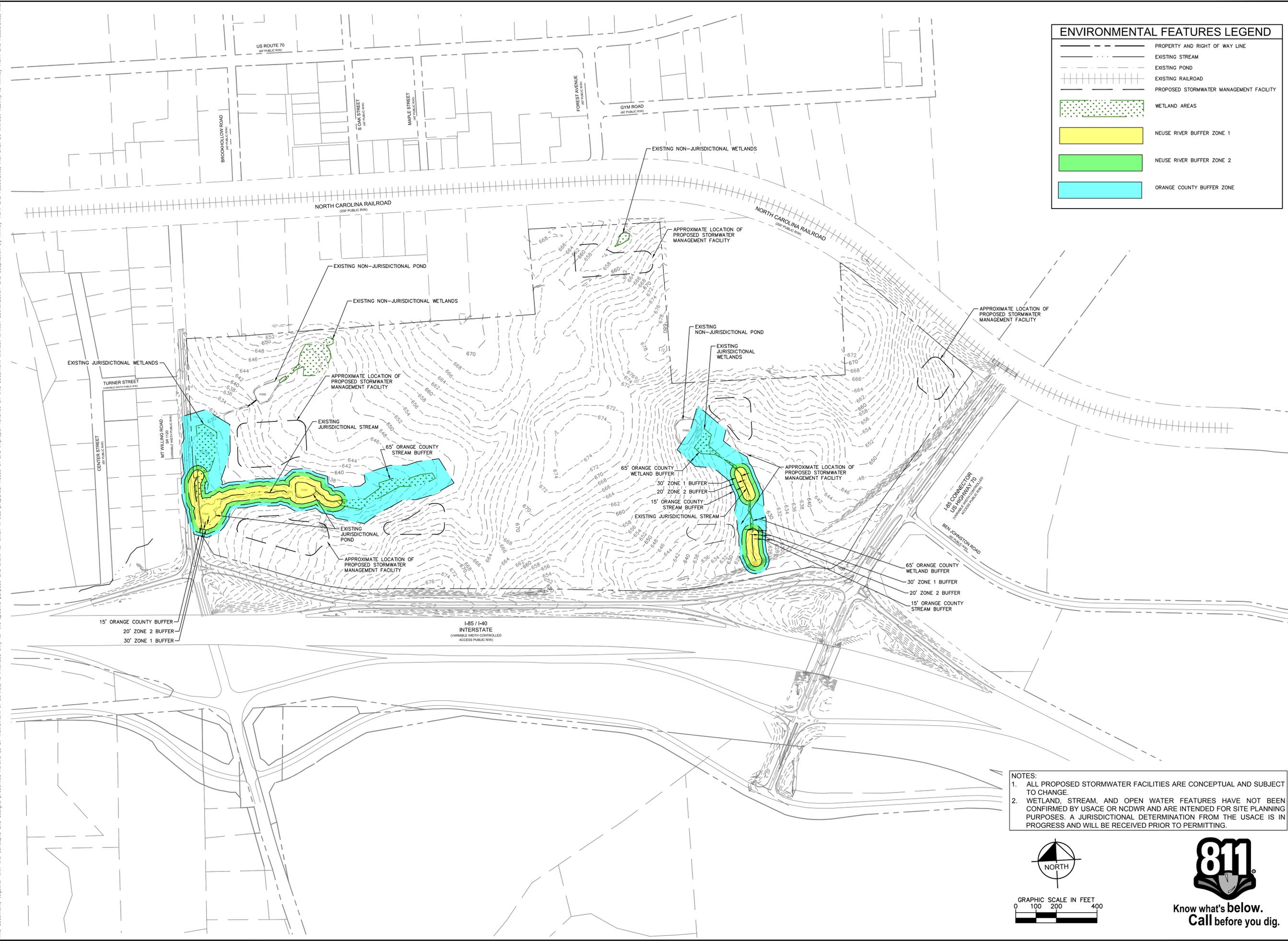
KHA PROJECT 013284003	
DATE 08/07/2020	SCALE AS SHOWN
DESIGNED BY RMV	DRAWN BY RMV
CHECKED BY KWH	

**ENTRANCE OPTION 2**

**BEAVER CROSSING  
MASTER PLAN**  
 ORANGE COUNTY NORTH CAROLINA

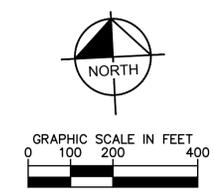
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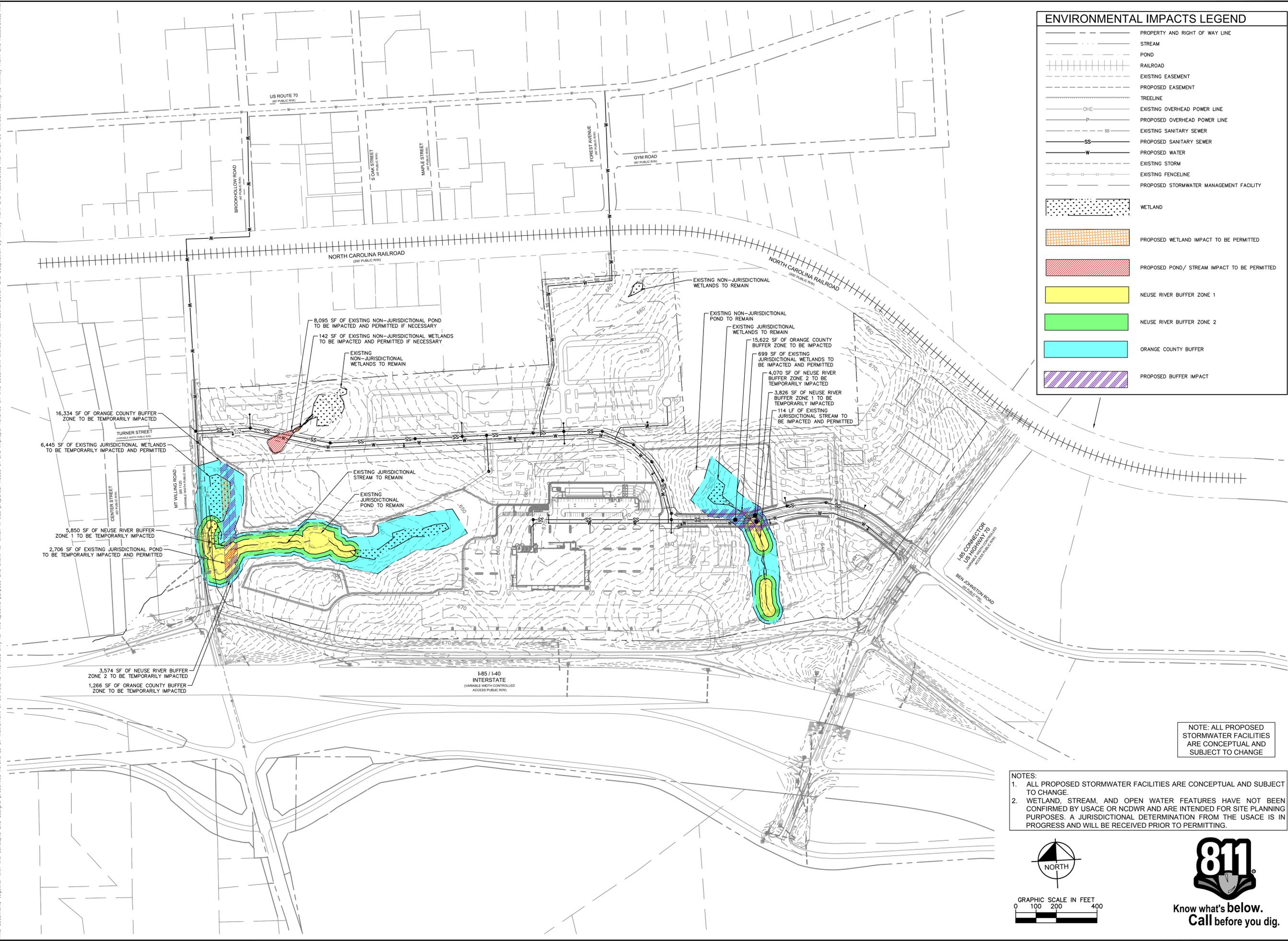
	PROPERTY AND RIGHT OF WAY LINE
	EXISTING STREAM
	EXISTING POND
	EXISTING RAILROAD
	PROPOSED STORMWATER MANAGEMENT FACILITY
	WETLAND AREAS
	NEUSE RIVER BUFFER ZONE 1
	NEUSE RIVER BUFFER ZONE 2
	ORANGE COUNTY BUFFER ZONE

NOTES:  
 1. ALL PROPOSED STORMWATER FACILITIES ARE CONCEPTUAL AND SUBJECT TO CHANGE.  
 2. WETLAND, STREAM, AND OPEN WATER FEATURES HAVE NOT BEEN CONFIRMED BY USACE OR NCDWR AND ARE INTENDED FOR SITE PLANNING PURPOSES. A JURISDICTIONAL DETERMINATION FROM THE USACE IS IN PROGRESS AND WILL BE RECEIVED PRIOR TO PERMITTING.



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	ENVIRONMENTAL FEATURES MAP				
BEAVER CROSSING MASTER PLAN	ORANGE COUNTY NORTH CAROLINA				
SHEET NUMBER C3.0	REVISIONS No. _____ BY _____ DATE _____				

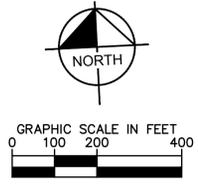
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ENVIRONMENTAL IMPACTS LEGEND	
	PROPERTY AND RIGHT OF WAY LINE
	STREAM
	POND
	RAILROAD
	EXISTING EASEMENT
	PROPOSED EASEMENT
	TREELINE
	EXISTING OVERHEAD POWER LINE
	PROPOSED OVERHEAD POWER LINE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	PROPOSED WATER
	EXISTING STORM
	EXISTING FENCELINE
	PROPOSED STORMWATER MANAGEMENT FACILITY
	WETLAND
	PROPOSED WETLAND IMPACT TO BE PERMITTED
	PROPOSED POND/ STREAM IMPACT TO BE PERMITTED
	NEUSE RIVER BUFFER ZONE 1
	NEUSE RIVER BUFFER ZONE 2
	ORANGE COUNTY BUFFER
	PROPOSED BUFFER IMPACT

NOTE: ALL PROPOSED STORMWATER FACILITIES ARE CONCEPTUAL AND SUBJECT TO CHANGE

- NOTES:
1. ALL PROPOSED STORMWATER FACILITIES ARE CONCEPTUAL AND SUBJECT TO CHANGE.
  2. WETLAND, STREAM, AND OPEN WATER FEATURES HAVE NOT BEEN CONFIRMED BY USACE OR NCDWR AND ARE INTENDED FOR SITE PLANNING PURPOSES. A JURISDICTIONAL DETERMINATION FROM THE USACE IS IN PROGRESS AND WILL BE RECEIVED PRIOR TO PERMITTING.



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CHECKED BY	KWH

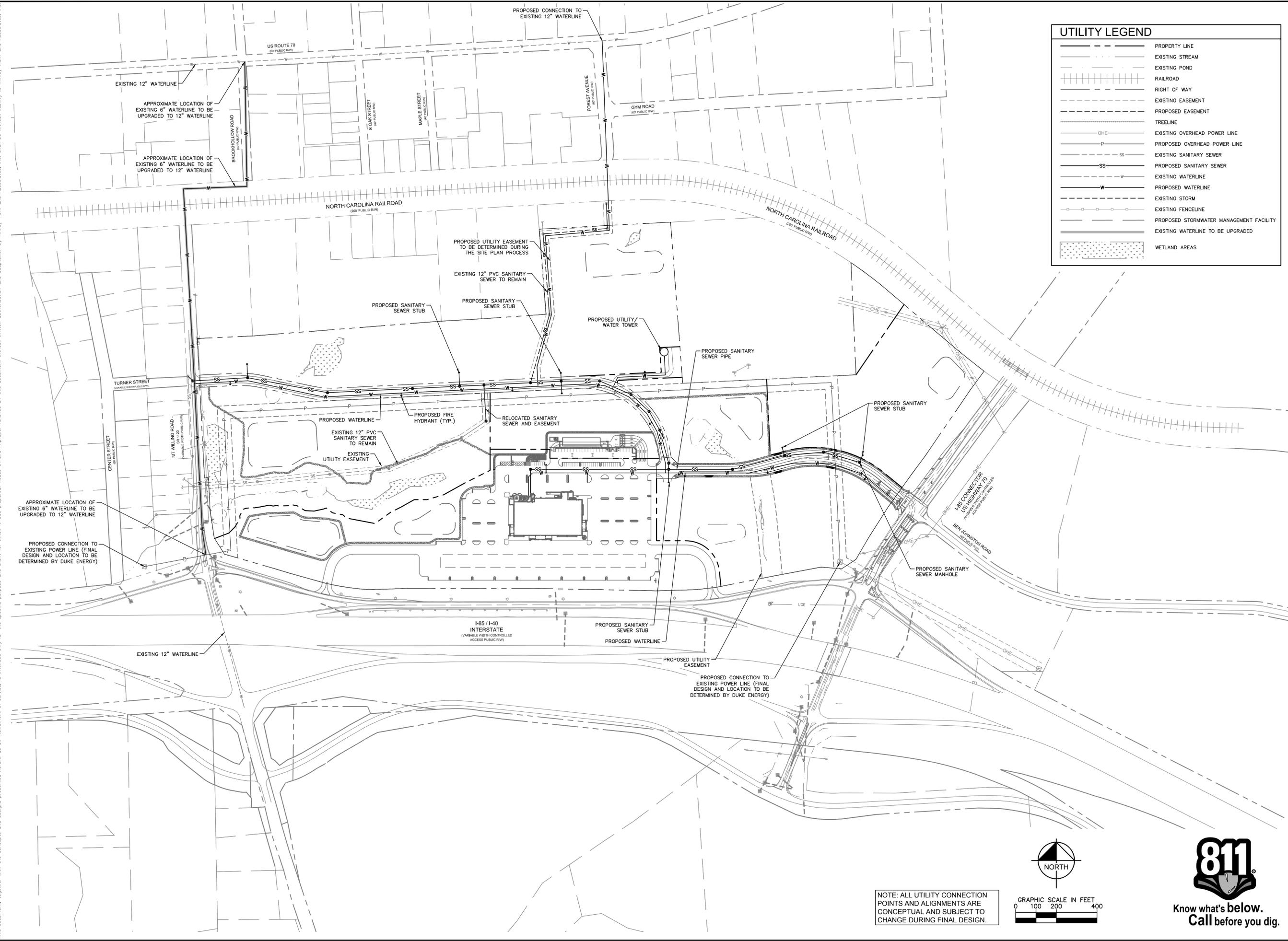
**ENVIRONMENTAL IMPACTS MAP**

**BEAVER CROSSING MASTER PLAN**

ORANGE COUNTY NORTH CAROLINA

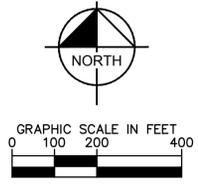
SHEET NUMBER  
**C3.1**

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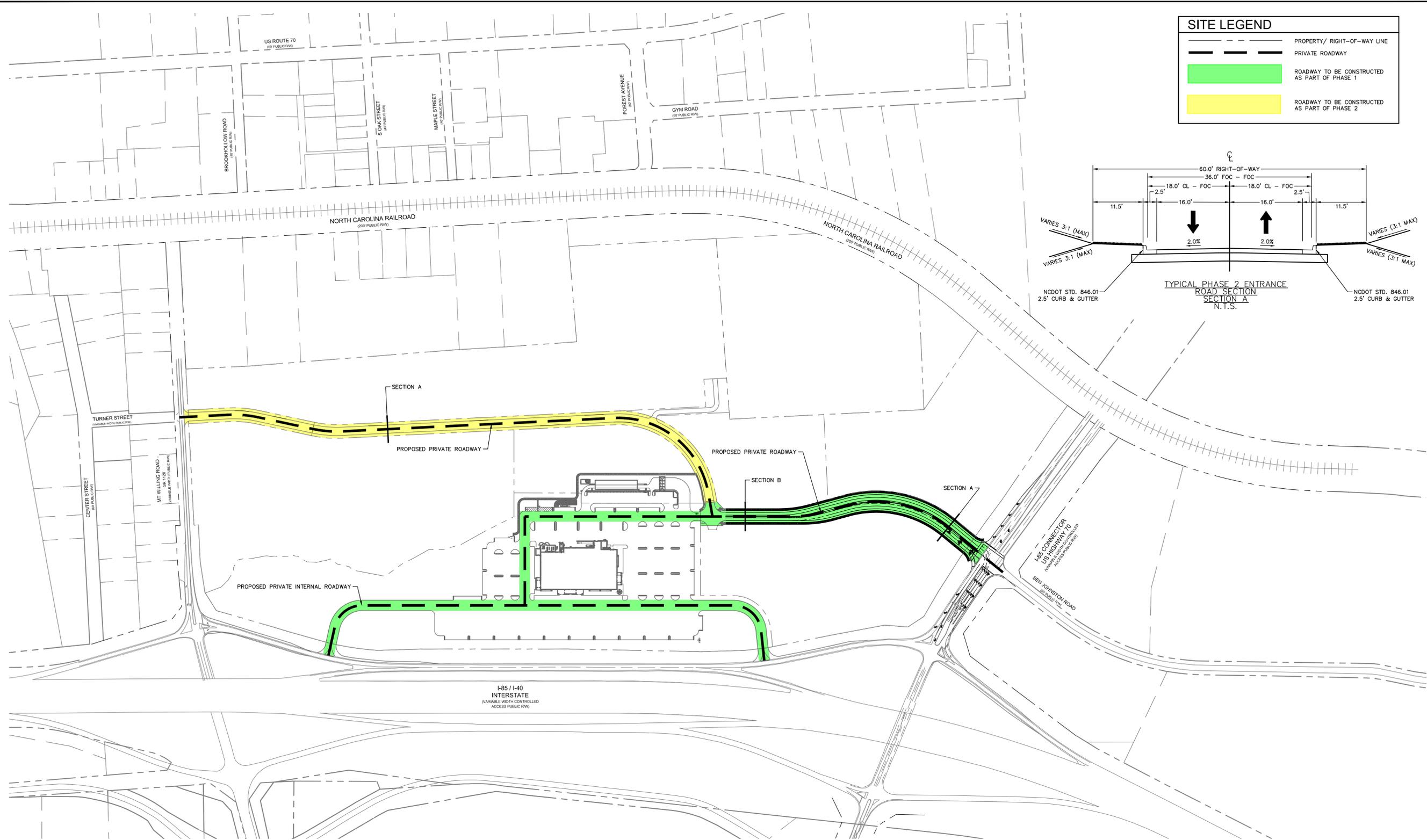
UTILITY LEGEND	
	PROPERTY LINE
	EXISTING STREAM
	EXISTING POND
	RAILROAD
	RIGHT OF WAY
	EXISTING EASEMENT
	PROPOSED EASEMENT
	TREELINE
	EXISTING OVERHEAD POWER LINE
	PROPOSED OVERHEAD POWER LINE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING WATERLINE
	PROPOSED WATERLINE
	EXISTING STORM
	EXISTING FENCELINE
	PROPOSED STORMWATER MANAGEMENT FACILITY
	EXISTING WATERLINE TO BE UPGRADED
	WETLAND AREAS

NOTE: ALL UTILITY CONNECTION POINTS AND ALIGNMENTS ARE CONCEPTUAL AND SUBJECT TO CHANGE DURING FINAL DESIGN.

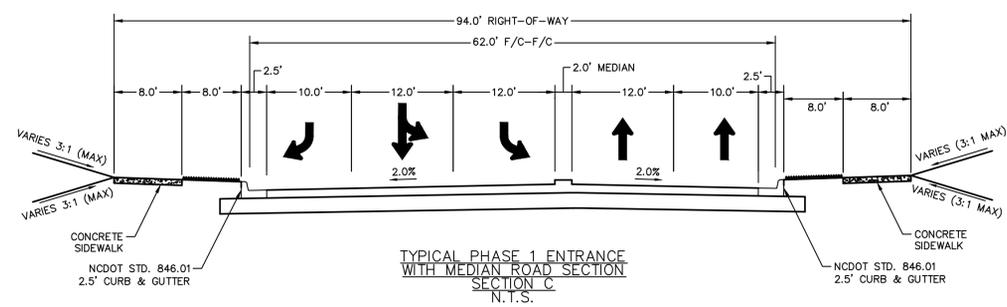
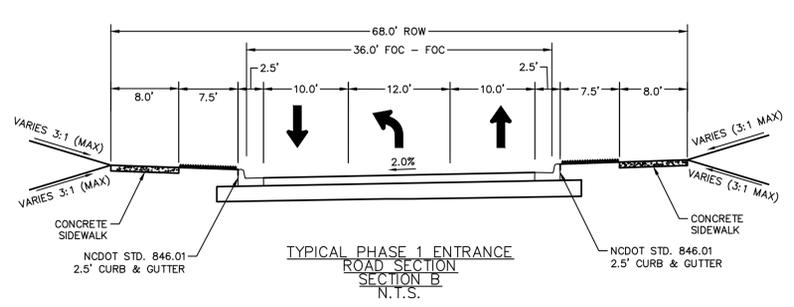
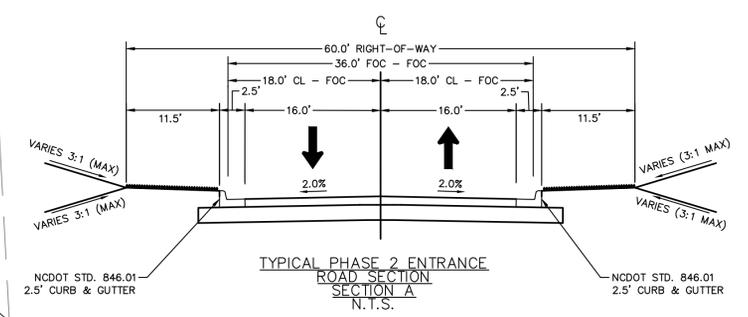


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	KHA PROJECT: 013284003 DATE: 08/07/2020 SCALE: AS SHOWN DESIGNED BY: RMV DRAWN BY: RMV CHECKED BY: KWH
<b>WATER AND SEWER MAP</b>	
BEAVER CROSSING MASTER PLAN	NORTH CAROLINA ORANGE COUNTY
SHEET NUMBER <b>C4.0</b>	REVISIONS No. _____ BY _____ DATE _____

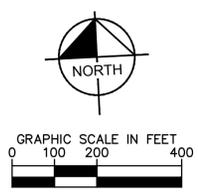
Plotted By: Winter, Rebecca Sheet Set: Beaver Crossing Internal Roadways Map - August 06, 2020 - 05:21:19pm K:\NRA\LD\EA\013284003\_Buc-see\_Elfond\08\_CAD Files\PlanSheets\C5.0 INTERNAL ROADWAYS MAP.dwg  
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SITE LEGEND	
	PROPERTY/ RIGHT-OF-WAY LINE
	PRIVATE ROADWAY
	ROADWAY TO BE CONSTRUCTED AS PART OF PHASE 1
	ROADWAY TO BE CONSTRUCTED AS PART OF PHASE 2



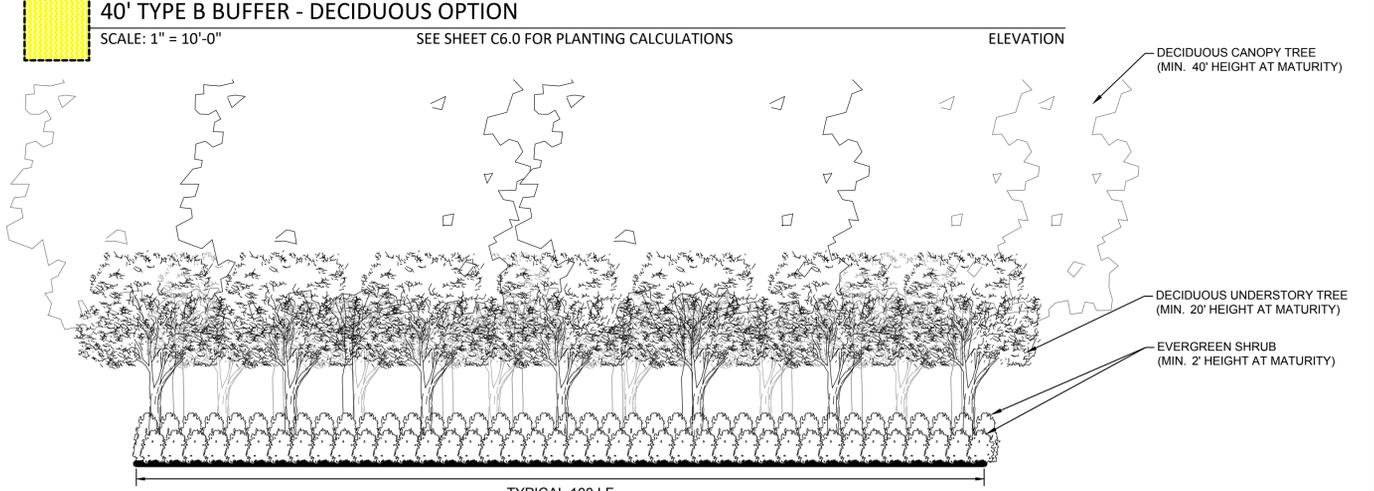
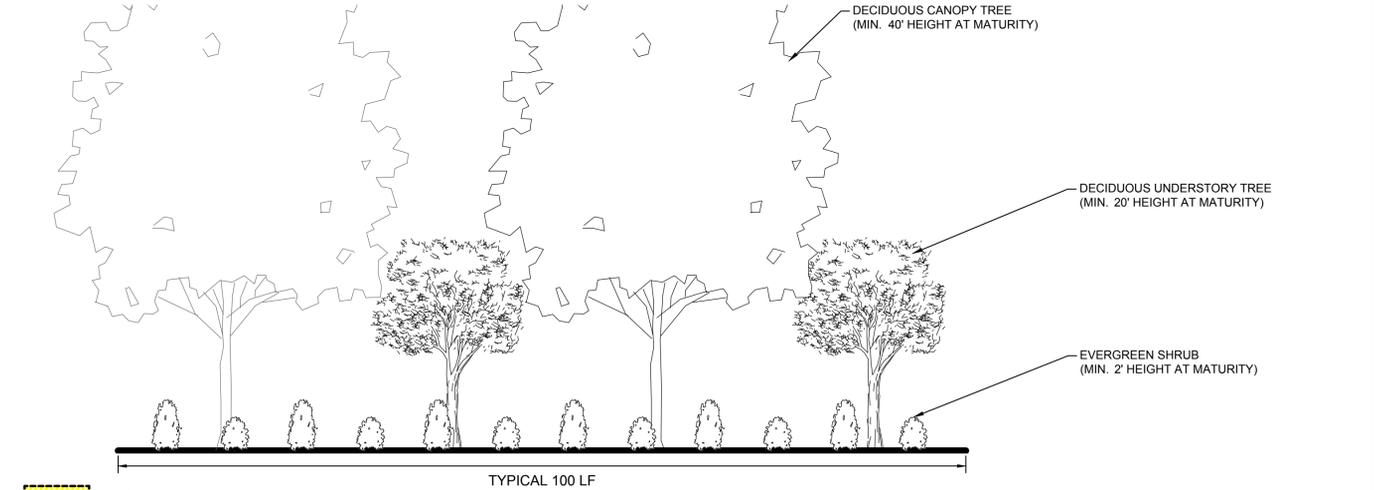
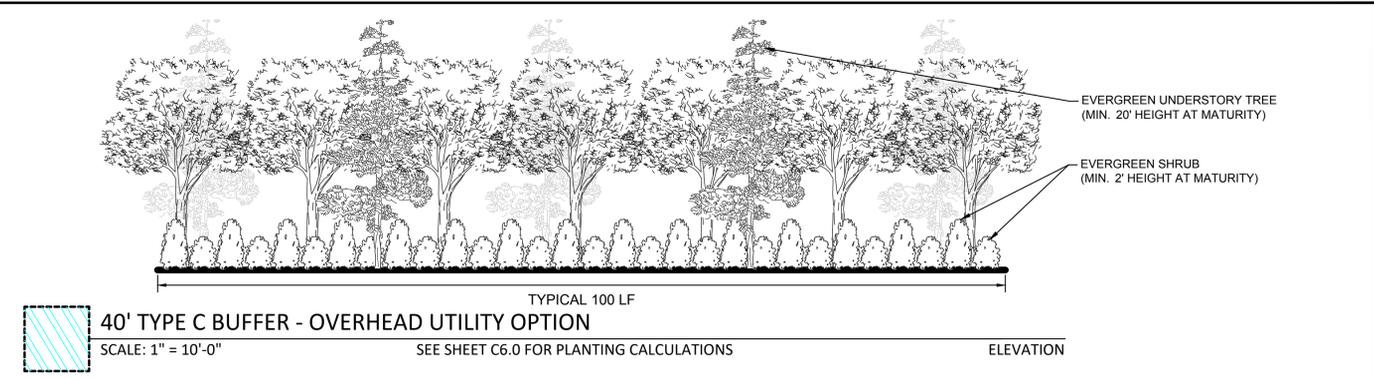
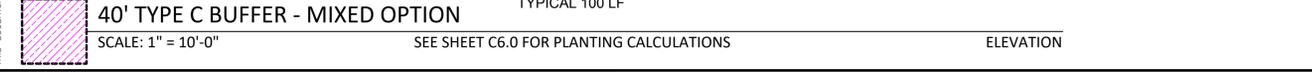
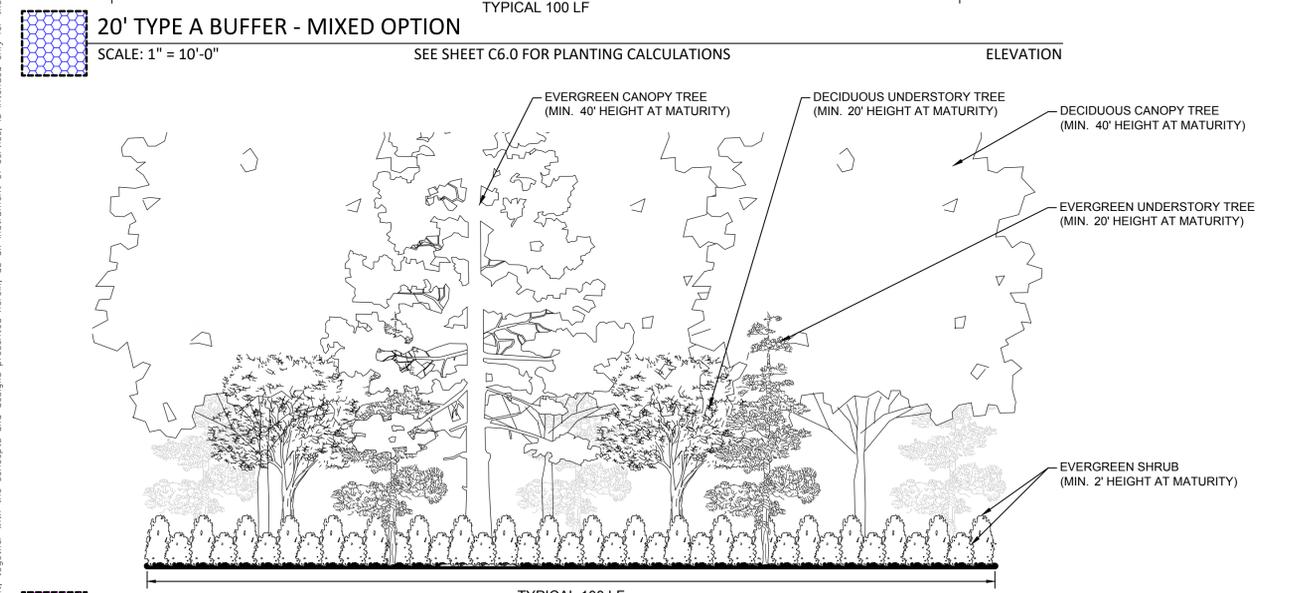
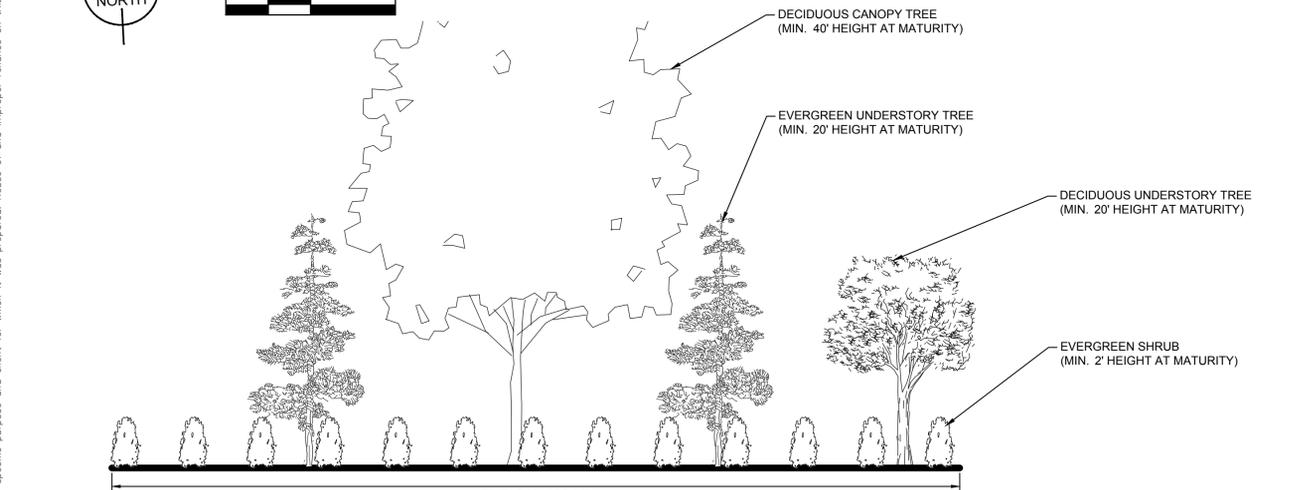
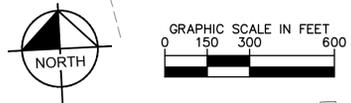
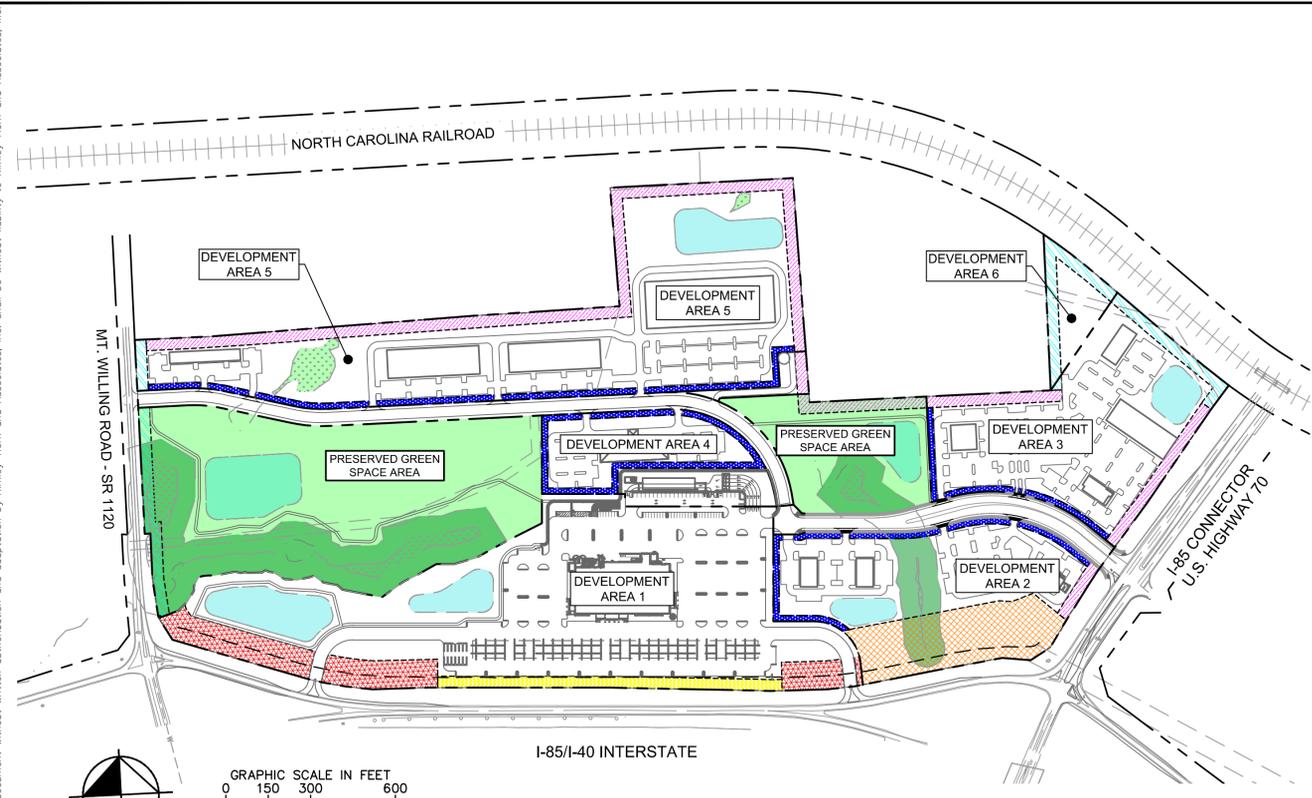
NOTE: ALL PROPOSED INTERNAL ROADWAYS ARE TO BE PRIVATE.  
 ALL PROPOSED OFF-SITE TRAFFIC AND ROADWAY IMPROVEMENTS ARE CONTINGENT UPON NCDOT APPROVAL.



<h2 style="margin: 0;">INTERNAL ROADWAYS MAP</h2>	<h2 style="margin: 0;">BEAVER CROSSING MASTER PLAN</h2>								
<p style="font-size: small;">KHA PROJECT 013284003          DATE 08/07/2020          SCALE AS SHOWN          DESIGNED BY RMV          DRAWN BY RMV          CHECKED BY KWH</p>	<p style="font-size: small;">ORANGE COUNTY NORTH CAROLINA</p>								
<p style="font-size: small;">KIMLEY-HORN &amp; ASSOCIATES, INC.          421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601          PHONE: 919-677-2000 FAX: 919-677-2050          WWW.KIMLEY-HORN.COM          #F-0102</p>	<p style="font-size: small;">SHEET NUMBER  <b>C5.0</b></p>								
<p style="font-size: small;">PROGRESS SUBMITTAL          NOT FOR CONSTRUCTION</p>	<p style="font-size: small;">REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 5%;">No.</th> <th style="width: 15%;">Description</th> <th style="width: 10%;">By</th> <th style="width: 10%;">Date</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	No.	Description	By	Date				
No.	Description	By	Date						



Plotted By: Winter, Rebecca  
 Sheet Set: Beaver Crossing Landscape Buffer Plan - August 06, 2020 - 07:14:12pm  
 K:\RAL\DEVA\013284003\_Bea-Cross-EPlan\06\_CAD Files\PlanSheets\06.1\_Landscape Buffer Elevations.dwg  
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NO.	REVISIONS	DATE	BY

**Kimley»Horn**  
 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
 PHONE: 919-677-2000 FAX: 919-677-2050  
 WWW.KIMLEY-HORN.COM #F-0102

KHA PROJECT	013284003
DATE	08/07/2020
SCALE	AS SHOWN
DESIGNED BY	AWF
DRAWN BY	AWF
CHECKED BY	MKB

**LANDSCAPE BUFFER ELEVATIONS**

**BEAVER CROSSING MASTER PLAN**  
 NORTH CAROLINA  
 ORANGE COUNTY

**EXHIBIT A –  
ADJOINING PROPERTY  
OWNERS LIST**

PIN	OWNER1_LAST	OWNER1_FIRST	ADDRESS1	ADDRESS2	CITY	STATE	ZIPCODE	SIZE	LEGAL_DESC	DEEDREF
9844854839	DEPARTMENT OF	TRANSPORTATION	331 W MAIN ST-SUITE 100		DURHAM	NC	27701	1	N/S I-85 WIDENING I-85	940/264
9844855497	COPPLE PROPERTIES	LLC	213 MT WILLING RD	C/O HOWARD R COPPLE	EFLAND	NC	27243	9.13	S/S I-85	4088/305
9844867573	MCDONALD	DANIEL G ETAL	2555-403 ST JAMES DR SE		SOUTHPORT	NC	28461	12.58	2 FIRSTSOUTH BANK INC P74/168	5681/559
9844877368	MCDONALD	DANIEL G ETAL	2555-403 ST JAMES DR SE		SOUTHPORT	NC	28461	3.67	1 FIRSTSOUTH BANK INC P74/168	5681/559
9844879067	SL EFLAND HEIRS LLC		4890 SW NATCHEZ ST		TUALATIN	OR	97062	0.68	W/S FORREST DR (AKA TURNER DR)	5997/493
9844879543	KAHLER	BRETT H	1116 SOUTH ST		DURHAM	NC	27707	0.67	S/S RAILWAY	6255/98
9844887024	EFLAND HOISERY MILL	INC	PO BOX 246		EFLAND	NC	27243	2.32	S/S HWY 70A	271/73
9844940883	HICKS	CARL THOMAS	PO BOX 126		EFLAND	NC	272430126	6.41	#2 ELOISE B SMITH P81/98	376/424
9844943580	SANGHA	AMERICA SARASWATA	1040 JAYAGURU LN		EFLAND	NC	27243	8.619	S/S SR 1144	5000/328
9844947151	BOGGS	CLINT G	270 BOGER RD		MOCKERVILLE	NC	27028	0.51	W/S SR 1120	5664/253
9844947817	KENAN ENTERPRISES	INC	1400 N LAKEWAY		PALM BEACH	FL	33480	0.36	W/O SR 1120	770/632
9844947975	DEPARTMENT OF	TRANSPORTATION	331 W MAIN ST SUITE 100		DURHAM	NC	27701	0.85	W/S SR 1120	950/218
9844948883	LLOYD	A B JR	2701 US 70W		EFLAND	NC	27243	0.02	W/S SR 1120	301/584
9844950549	DEPARTMENT OF	TRANSPORTATION	331 W MAIN ST -SUITE 100		DURHAM	NC	27701	1	S/S I-85 WIDENING I-85	940/264
9844951258	DEPARTMENT OF	TRANSPORTATION	331 W MAIN ST SUITE 100		DURHAM	NC	27701	0.15	S/S SR 1144	966/235
9844954099	DEPARTMENT OF	TRANSPORTATION	331 W MAIN SUITE 100		DURHAM	NC	27701	1.1	NEW R/W FOR 1144	1039/55
9844954403	DEPARTMENT OF	TRANSPORTATION	PO BOX 25201		RALEIGH	NC	27611	1	I-85 SER STA N/S 10 CKS TP	899/248
9844955230	ENVIRONMENTAL HEATING SOLUTIONS LLC		270 BOGER RD		MOCKERVILLE	NC	27028	0.74	N/S SR 1144	5634/587
9844956258	DEPARTMENT OF	TRANSPORTATION	331 W MAIN SUITE 100		DURHAM	NC	27701	0.07	P/O R/W FOR I-85 RAMP	1039/55
9844959123	DEPARTMENT OF	TRANSPORTATION	PO BOX 15580		DURHAM	NC	27704	1.01	OFF SR 1144 & 1120	1144/429
9844960493	LAWS	CARLTON A	1300 FAUCETTE MILL RD		HILLSBOROUGH	NC	27278	0.429	16-19 BL A BOGGS	6634/1775
9844960563	KIRCHNER	ROGER L	313 CENTER ST		EFLAND	NC	27243	0.57	11-15 BL A S C FORREST P19/32	4416/548
9844960792	WELCH	MARSHALL A	301 CENTER ST		EFLAND	NC	27243	1.55	1-10 BL A FORREST & W/S FORREST	6558/261
9844961126	M M FOWLER INC		4220 NEAL RD		DURHAM	NC	27702	1	20/37/BL A/FORREST	000/000
9844963059	M M FOWLER INC		4220 NEAL RD		DURHAM	NC	27705	1	28/34/BL C/FORREST	000/000
9844963252	LAWS	CARLTON A TRUSTEE	1300 FAUCETTE MILL RD		HILLSBOROUGH	NC	27278	0.38	24-27 BL C SC FORREST JR P19/32	4631/381
9844963354	DUARTE	RONNIE OMAR ALDANA	320 CENTER ST		EFLAND	NC	27243	0.57	18-23 BL C S C FORREST JR P19/32	6627/67
9844963540	COOPER	TIERRE L	312 CENTER ST		EFLAND	NC	27243	0.57	12-17 BL C S C FORREST JR P19/32	3174/82

9844963644	LAWS	CARLTON A TRUSTEE	1300 FAUCETTE MILL RD		HILLSBOROUGH	NC	27278	0.47	7-11 BL C SC FORREST JR P19/32	4904/324
9844963748	GALLAGHER	KELLY L	300 CENTER ST		EFLAND	NC	27243	0.57	1-6 BL C S C FORREST JR CKS TP P19/32	3731/50
9844965134	M M FOWLER INC		4220 NEAL RD		DURHAM	NC	27705	1	MJ P/O #50-59 BL C FOREST	195/709
9844965259	RAMARGE	STEVEN M	PO BOX 155		EFLAND	NC	272430155	1	MAJ 47-49 BL C FORREST P19/32	5284/468
9844965336	RAMARGE	STEVEN M	PO BOX 155		EFLAND	NC	27243		MP 43-46 BL C FORREST P19/32	5284/468
9844965437	M M FOWLER INC		4220 NEAL RD		DURHAM	NC	27705	0.34	40-42 BL C FORREST P19/32	195/709
9844965621	CURRY	VALERIE A	5644 THOM RD		Mebane	NC	27302	0.99	35-39 BL C & LOT FORREST P19/32	6281/253
9844965735	ANDREWS	LISA	305 MT WILLING RD		EFLAND	NC	27243	0.32	W/S EFLAND BUCKHORN RD	6514/281
9844965832	RAMARGE	STEVEN M	PO BOX 155		EFLAND	NC	27243	0.32	BOGGS PENDER	6522/370
9844966039	DEPARTMENT OF	TRANSPORTATION	PO BOX 25201		RALEIGH	NC	27611	0.56	WIDENING BUCKHORN & I-85 EXCHANGE	1078/53
9844966320	DEPARTMENT OF	TRANSPORTATION	331 W MAIN ST SUITE 100		DURHAM	NC	27701	1	SM P/O 47-49 BL C FORREST P19/32	1008/500
9844966325	DEPARTMENT	OF	TRANSPORTATION SUITE 100	331 W MAIN ST	DURHAM	NC	27701	1	SM P/O #43-46 C FORREST	981/581
9844970156	HAMLIN	STEPHEN FLINT	5801 SNEED RD		ROUGEMONT	NC	275729131	1	9 - 13 BL B S C FORREST P19/32	1416/45
9844970237	MAY	CARL C	PO BOX 70		EFLAND	NC	27243	1	5-8 BL B SC FORREST	
9844970317	MAY	CARL C	PO BOX 70		EFLAND	NC	27243	1	1-4 BL B SC FORREST	
9844970543	MAY	CLIFTON CARL	PO BOX 70		EFLAND	NC	27243	0.33	S/S SR 1317	2079/534
9844971003	FORREST	DAVID CAMERON	215 CENTER ST		EFLAND	NC	27243	1	14 - 20 BL B S C FORREST P19/32	
9844972545	BANNON	JOHN	1822 BUSHY COOK RD		EFLAND	NC	27243	1.66	S/S SR 1317	6088/102
9844972913	FORREST RESOURCES	LLC	14A WATER ST	C/O JOSEPH T FORREST	MEDFORD	MA	2155	0.59	N/S SR 1322 (STORE LOT)	2288/127
9844973039	HAMLIN	JEFFREY FORREST	5801 SNEED RD		ROUGEMONT	NC	275729131	1	#9-20 BL D FORREST P19/32	1416/47
9844973217	LAWS	JULIE A	206 CENTER ST		EFLAND	NC	27243	1	5-8 BL D FORREST P19/32	5599/180
9844973308	CARTER	LATONIA YVETTE	202 CENTER ST		EFLAND	NC	27243	1	#1/4 BL D FORREST	4215/413
9844973943	TALBERTS FOOD MART 3 INC		1480 CRAWFORD DAIRY RD		CHAPEL HILL	NC	27516	0.25	NW INT SR 1120 & 1319	5982/594
9844974903	MCECKERT LLC		1811 RAMS WAY		HILLSBOROUGH	NC	27278	0.25	N/S FORREST AVE	6036/430
9844974974	FREEMAN	RITA	4409 ELLO DR		Hillsborough	NC	27278	0.36	N/S SR 1322	5236/242
9844975018	MANGALAM LLC		225 MT WILLING RD		EFLAND	NC	27243	1.22	NE INT SR 1319 & EFLAND BUCKHORN ROAD	5923/304
9844975240	KIMREY	CHARLES DANA	140 S LAKEWOOD TRL		ROXBORO	NC	27574	0.39	W/S SR 1120	1290/400
9844975300	COPPLE	HOWARD R	213 MT WILLING RD		EFLAND	NC	27243	0.39	W/S EFLAND/BUCKHORN RD P19/47	231/908
9844975309	EFLAND VOLUNTEER FIRE CO	INC	P O BOX 39		EFLAND	NC	27243	0.5	W/S EFLAND-BUCKHORN RD	243/1194

9844975514	BLTK LLC		6720 PENTECOST RD		CEDAR GROVE	NC	27231	1	S/S SOUTHERN RAILWAY	6545/18
9844976945	EFLAND LEASING COMPANY B	LLC	PO BOX 246		EFLAND	NC	27243	1.43	N/S SR 1322 P113/153	3900/574
9844978308	EFLAND	DOROTHY M HRS	PO BOX 525		EFLAND	NC	27243	3.8	S/S SOUTHERN RAILWAY	
9844980845	EFLAND LEASING COMPANY D	LLC	PO BOX 246		EFLAND	NC	27243	9.17	N/S US 70 P118/25	3900/580
9844981114	EFLAND LEASING COMPANY A	LLC	PO BOX 246		EFLAND	NC	27243	5.9	S/S 70	3900/571
9844985234	FORREST RESOURCES	LLC	14A WATER ST	C/O JOSEPH T FORREST	MEDFORD	MA	2155	1.87	B FORREST FAMILY SHARE TRUST P75/129	2288/127
9844987242	EFLAND VILLAGE HOLDINGS		P O BOX 60		EFLAND	NC	27243	1.51	A FORREST FAMILY SHARE TRUST P75/129	6614/392
9844987792	EFLAND	JAYE RUTH	P O BOX 525		EFLAND	NC	27243	1.8	#13A WILSON EFLAND P86/170	3389/396
9844988083	EFLAND LEASING COMPANY C	LLC	PO BOX 246		EFLAND	NC	27243	1.29	NW INT SR 1322 & 1324 P113/153	3900/577
9844988391	EFLAND METHODIST	CH	METHODIST FELLOWSHIP CENTER	GEN DEL	EFLAND	NC	27243	0.74	S/W INT HWY 70-A & SR 1324 CKS TP	133/45
9844988652	DURHAM	ERIN M	206 BROOKHOLLOW RD		EFLAND	NC	27243	1.21	1 EFLAND & CASTLE P51/103	6317/393
9844995085	CRAFT	MARGARET E	3529 WILSON EFLAND RD		EFLAND	NC	27243	5.06	SOUTH P/O 12 BANE & B WILSON EFLAND P86/170	6081/297
9854048543	LLOYD	ANDREW B JR ETAL	2701 US 70W		EFLAND	NC	27243	43.401	S/S SR 1144	
9854050116	LLODY	A B JR	2701 US 70W		EFLAND	NC	27243	1	S/S SR 1144	191/359
9854051970	DEPARTMENT OF	TRANSPORTATION	PO BOX 15580		DURHAM	NC	27704	3.77	N/S I-85/40	1144/449
9854052261	LLOYD	ANDREW B JR	2701 US 70W		EFLAND	NC	27243	1.219	S/S I-85/40	1546/197
9854054344	LLOYD	ANDREW B JR	2701 US 70 W		EFLAND	NC	27243	0.875	S/S I-85 & ENTRANCE RAMP	000/000
9854056220	DEPARTMENT OF	TRANSPORTATION	PO BOX 15580		DURHAM	NC	27704	3.15	S/S SR 1144	1144/432
9854070389	RAYMOND JAMES TRUST NA TRUSTEE		PO BOX 23559		ST PETERSBURG	FL	33742	2.99	A MADISON P EFLAND HEIRS P109/103	5264/518
9854073630	BENNETT	FREDERICK J	3406 SOUTHERN DR		EFLAND	NC	27243	0.5	2 ANNIE T JORDAN P4/22	5724/540
9854074304	EFLAND	JOHN LINDSAY III	P O BOX 296		EFLAND	NC	272430296	5.84	5.84 AC S/S 1317 CKS TP	281/1365
9854074868	LOFTIN	HUGH M	P O BOX 156		EFLAND	NC	272430156	0.26	NW INT OAK ST & FORREST AVE	1761/102
9854074909	CECIL	CURTIS RONALD	PO BOX 112		EFLAND	NC	272430112	0.44	1-3 FORREST HILLS P61/600 AKA PA/3	545/285
9854074954	OAKLEY	RONALD W	PO BOX 1		MATOAKA	WV	24736	0.26	NP 4-6 S W FOREST PROPERTY P A/3	6641/186
9854076601	DUFFY	KATIE	2407 CHESTNUT RIDGE CHURCH RD		EFLAND	NC	27243	1	3 ANNIE T JORDEN P4/22	6628/2137
9854076999	GLASGOW	MARY JANE SYKES	4615 LEBANON RD		EFLAND	NC	272430116	0.28	7 P/O 8 & TR N/O FORREST AVE	3194/298
9854077569	DARLING	PAUL V	3310 SOUTHERN DR		EFLAND	NC	27243	1	#6 ANNIE T JORDAN P4/22	2793/453
9854077601	WIEBE	JEFFERY J	418 TROTting TRL		EFLAND	NC	27243	0.5	4 ANNIE T JORDEN P4/22	4253/396
9854077979	HIGGINS	ELDON JON	3309 FOREST AVE EAST		EFLAND	NC	27243	0.28	9 P/O 8 AND TR N/O FORREST AVE	6625/866

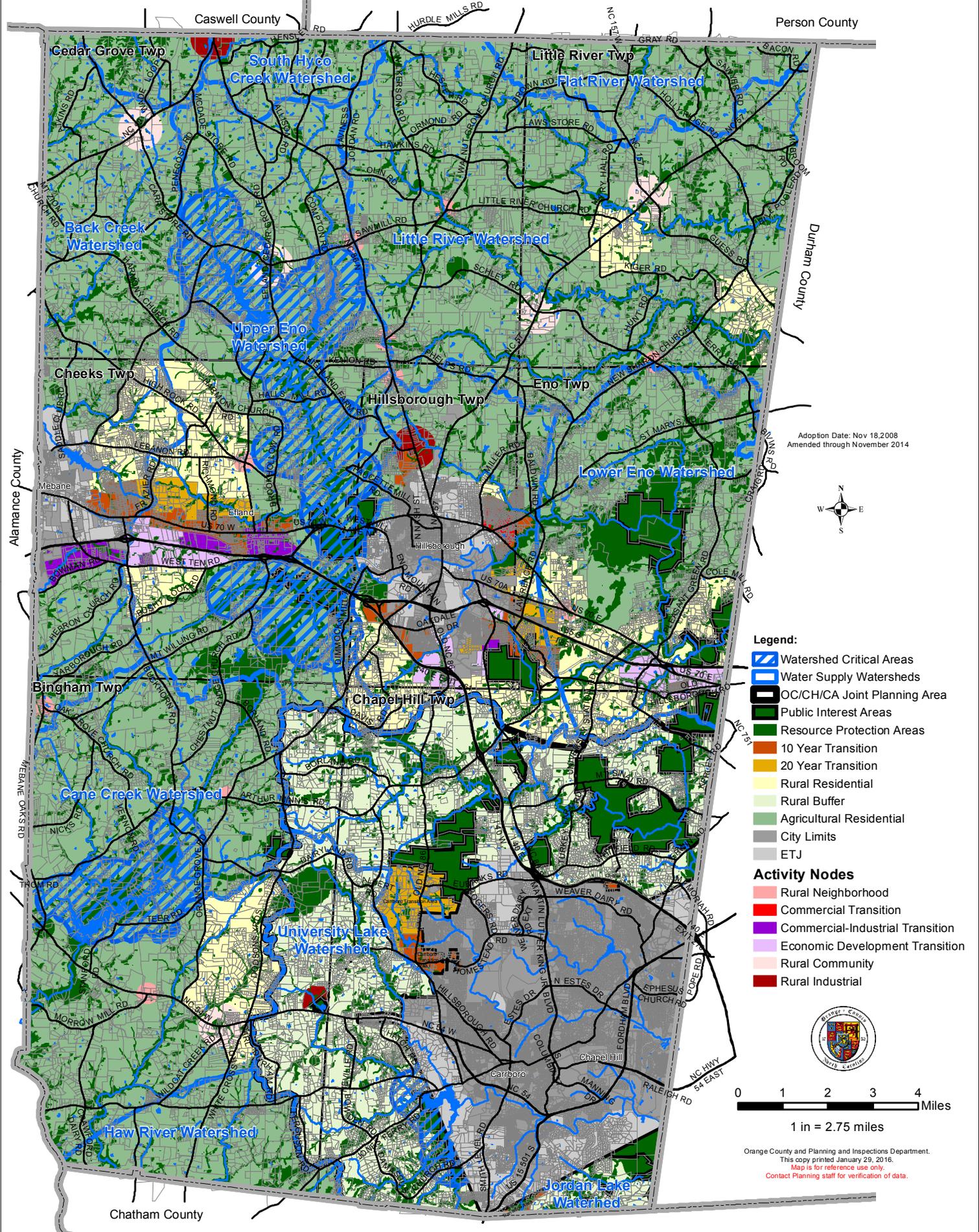
9854078611	WIEBE	JEFFERY J	418 TROTting TRL		EFLAND	NC	27243	0.5	5 ANNIE T JORDEN P4/22	4253/396
9854078927	SPIRITUAL ASSEMBLY OF THE BAHAIS OF	ORANGE COUNTY NC INC	2202 SCHLEY RD		Hurdle Mills	NC	27541	0.03	W/S MAPLE ST	5365/419
9854078931	SPIRITUAL ASSEMBLY OF THE BAHAIS OF	ORANGE COUNTY NC INC	2202 SCHLEY RD		Hurdle Mills	NC	27541	0.22	W/S MAPLE ST	5365/419
9854078939	SPIRITUAL ASSEMBLY OF THE BAHAIS OF	ORANGE COUNTY NC INC	2202 SCHLEY RD		Hurdle Mills	NC	27541	0.02	W/S MAPLE ST E P/O CLOSED UNOPENED ALLEY	5365/419
9854078949	SANSEVERINO	EDWARD	3303 FORREST AVE		EFLAND	NC	27243	0.28	10 P/O 11 FORREST AVE & TR N/O FORREST AVE	3879/139
9854078996	CECIL	DORIS SQUIRES	PO BOX 112		EFLAND	NC	272430112	1	#13 P/O 14 S W FORREST P61/600	1240/31
9854079412	EFLAND	DOROTHY M HRS	PO BOX 525		EFLAND	NC	27243	2.46	S/O EFLAND	
9854079976	SWIGGETT	JOLINDA O	3227 FOREST AV		EFLAND	NC	27243	1	#3 VIRGINIA RUTH R GRAHAM	3063/195
9854080094	FORREST RESOURCES	LLC	14A WATER ST	C/O JOSEPH T FORREST	MEDFORD	MA	2155	2	E/S MAPLE ST	2288/127
9854080850	KARAN INC		3419 US HWY 70 W		EFLAND	NC	27243	1.07	E/S OC 1338	6662/700
9854081212	EFLAND UNITED METHODIST	CHURCH	PO BOX 121		EFLAND	NC	27243	0.5	E/S SR 1324	2000/149
9854081353	EFLAND UNITED METHODIST	CHURCH	PO BOX 121		EFLAND	NC	27243	1.05	S/E INT HWY 70-A & SR 1324	1375/308
9854081693	KARAN INC		3419 US HWY 70 W		EFLAND	NC	27243	1.65	INT HWY 70 & SR 9338	6662/700
9854083138	EFLAND UNITED METHODIST	CHURCH	P O BOX 121		EFLAND	NC	27243	0.15	51 FORREST PROP PA/3	4112/585
9854083232	EFLAND UNITED METHODIST	CHURCH	PO BOX 121		EFLAND	NC	27243	0.15	52 FORREST PROP PA/3	4112/585
9854083321	EFLAND UNITED METHODIST	CH	PO BOX 121		EFLAND	NC	27243	0.51	53-55 FOREST HILL & TR P A/3	1375/308
9854084052	WAGNER	DAVID C	1916 MOOREFIELDS RD		Hillsborough	NC	27278	0.15	47 S T FORREST	5214/404
9854084057	UNITED STATES OF AMERICA		324 W MARKET ST	C/O US MARSHALLS SERVICE	GREENSBORO	NC	27401	0.15	46 S W FORREST P A/3	6317/552
9854084115	UNITED STATES OF AMERICA		324 W MARKET ST	C/O US MARSHALLS SERVICE	GREENSBORO	NC	27401	0.462	E/S PINE ST P93/63	6317/552
9854084152	UNITED STATES OF AMERICA		324 W MARKET ST	C/O US MARSHALLS SERVICE	GREENSBORO	NC	27401	0.15	45 S W FORREST P A/3	6317/552
9854084252	YOUNG	HAROLD E JR	105 OAK ST		EFLAND	NC	27243	0.46	42-44 S T FORREST PA/3	6107/564
9854084353	EFLAND UNITED METHODIST	CHURCH	P O BOX 121		EFLAND	NC	27243	0.31	40-41 S T FORREST	2255/183
9854084605	AZZU	NINA TRUSTEE	723 BLACKFRIARS LOOP		CARY	NC	27519	1.59	NW INT HWY 70 & OAK ST NE CORNER HWY 70 & OAK ST	6652/438
9854086528	CATES	JARED J	3309 US 70 W		EFLAND	NC	27243	1		6622/853
9854087250	SPIRITUAL ASSEMBLY OF THE BAHAIS OF	ORANGE COUNTY NC INC	2202 SCHLEY ROAD		Hurdle Mills	NC	27541	2.75	S/S HWY 70-1 & OAK & MAPLE STS	5365/419
9854088690	RILEY	DALTON R JR	3303 US HWY 70 W		EFLAND	NC	272438408	1.67	MAJ 1-R PEGGY & DALTON RILEY JR P/NOR AKA N/S US 70W	

9854089170	CECIL	DORIS S	P O BOX 112		EFLAND	NC	27243	1	E/S MAPLE ST	1462/516
9854089250	WARREN	LARRY F	PO BOX 818		HILLSBOROUGH	NC	27278	1	18-19 & P/O 17 & 20 S W FOREST PLAT DEEDBK 61/600	4120/207
9854147480	CATES	JOHNNY C	3102 W TEN RD		EFLAND	NC	272439705	7.92	1 JOHNNY C CATES P102/112	4358/351
9854161576	SL EFLAND HEIRS LLC		4890 SW NATCHEZ ST		TUALATIN	OR	97062	79.23	N/S I-85/40	5997/493
9854171451	DUFFY	KATIE	2407 CHESTNUT RIDGE CHURCH RD		EFLAND	NC	27243	3.8	S/S SR 1317 & RAILROAD	6631/1653
9854172953	LLOYD	ANDREW B JR	2701 US 70W		EFLAND	NC	27243	1	N/S SR 1322 (FORREST AVE)	177/374
9854173499	NICHOLSON	JAMES H	3211 FORREST AVE		EFLAND	NC	27243	0.94	N/S FORREST AVE SR 1322	6426/220
9854175987	CRABTREE	WILLIAM EDWARD	PO BOX 61		EFLAND	NC	272430061	0.92	N/S FORREST AVE SR 1322 CKS TP P34/120	375/468
9854178549	MINNIS	ODELL CECIL JR	3210 SOUTHERN DR		EFLAND	NC	272439714	2.44	S/S R R P7/105	540/588
9854180304	ANDY LLOYD LAND	INVESTMENT COMPANY LLC	2701 HWY 70	C/O BEN LLOYD	EFLAND	NC	27243	1	HWY 70A SERVICE STATION	5517/453
9854180519	LLOYD	TIMOTHY KYLE	3225 US 70 W		EFLAND	NC	27243	1	N/S HWY 70	6628/2324
9854181001	CECIL	HOWARD BENTLY JR	3223 FORREST AVE		EFLAND	NC	27243	1	N/S SR 1332 FORREST AVE	581/522
9854182816	HICKS	WILLIAM M III	2315 CLARK FARM ROAD		EFLAND	NC	27243	6.46	N/S US 70	5378/23
9854184217	EFLAND RURITAN	CLUB	PO BOX 250		EFLAND	NC	27243	8.26	S/S HWY 70 CKS TP P35/15	485/120
9854184616	HARVEY	NOEL G PAK	3211 US 70 W		EFLAND	NC	272439609	1.9	N/S HWY 70	1210/548
9854186730	GRAHAMS MOBILE HOME PARK LLC		3201 US 70 W		EFLAND	NC	272439609	2.54	5 MILDRED N GRAHAM P46/110	6005/511
9854187792	GRAHAMS MOBILE HOME PARK LLC		3201 US 70W		EFLAND	NC	272439730	1.49	6 MILDRED N GRAHAM P46/110	6005/511
9854189274	EFLAND RURITAN	CLUB	PO BOX 250		EFLAND	NC	27243	1.12	S/S HWY 70 CKS TP P35/15	407/404
9854238985	AIS FORESTRY & FARMING LLC		319 CHAPANOKE RD	STE 102	RALEIGH	NC	27603	62.15	S/S I-85	5480/293
9854244813	DEPARTMENT OF WINDHAM MOBILE HOME PARK INC	TRANSPORTATION	331 W MAIN ST SUITE 100		DURHAM	NC	27701	5.43	S/S I-85	1002/466
9854272077	WINDHAM MOBILE HOME PARK INC		PO BOX 462		EFLAND	NC	27243	13.67	S/S SR 1317 & RAILROAD	5764/13
9854274929	HALL	NATHAN	3058 GYM RD		EFLAND	NC	27243	1.07	2 HARMONY HOMESTEADS LLC P113/78	5937/242
9854274935	JORGENSEN	JAMES L	3014 GYM RD		EFLAND	NC	272439729	1	W 1/2 #4 J B BAITY	1452/11
9854275965	SHEPARD	SIMONE	3008 GYM RD		EFLAND	NC	27243	1	N/S R R EFLAND	6452/105
9854276296	WINDHAM MOBILE HOME PARK INC		PO BOX 462		EFLAND	NC	27243	2.23	S/S SR 1317 & RAILROAD P49/79	5764/13
9854277830	MURRAY	WALLACE KENT	3004 GYM RD		EFLAND	NC	27243	2	S/S MURRAY RD	4590/269
9854278799	MURRAY	JOANN	2918 GYM RD		EFLAND	NC	27243	2	N/S R R	4563/495
9854280393	LUCKY 4 PROPERTIES LLC		3131 US 70 W		EFLAND	NC	27243	1	S/S HWY 70 & FREELAND AVE P76/94	5682/337
9854281107	AUXUME	MARIA A	3103 GYM RD		EFLAND	NC	27243	1	N/S MURRAY RD	6391/147

9854281628	CRAIG LLOYD LAND INVESTMENT	COMPANY LLC	2701 US 70 W		EFLAND	NC	27243	2	N/S HWY 70-A	5517/469
9854282060	SMITH	CHRISTOPHER T	3102 GYM RD		EFLAND	NC	27243	1.08	1 HARMONY HOMESTEADS LLC P113/45	5990/31
9854282236	EFLAND METHODIST	CHURCH	3418 US 70 W		EFLAND	NC	27243	1	S/S HWY 70-A CKS TP	000/000
9854282776	WALKER	MATTHEW	3021 US 70 W		EFLAND	NC	27243	0.97	N/S HWY 70-A P58/110	6320/538
9854283244	FORREST RESOURCES	LLC	14A WATER ST	C/O JOSEPH T FORREST	MEDFORD	MA	2155	1.96	2 JOE FORREST P105/50	2512/11
9854283860	BUMGARNER	KATHARINE J	3017 HWY 70 W		EFLAND	NC	27243	1	N/S HWY 70-A	6362/40
9854288315	OROURKE	JOHN TIMOTHY	PO BOX 1144		HILLSBOROUGH	NC	27278	8.24	1 JOE FORREST P105/50	6640/2316
9854293318	W & J FAMILY FARM LLC		5004 NC 86 N		HILLSBOROUGH	NC	27278	19.97	4 ROBERT B NICHOLS SR HEIRS P43/118	5510/414
9854363711	CHAD LLOYD LAND INVESTMENT	COMPANY LLC	2701 US 70 W		EFLAND	NC	27243	12.03	5 A B LLOYD JR P112/75	6177/94
9854367175	LLOYD	ANDREW B JR	2701 US 70 W		EFLAND	NC	27243	17.39	4 A B LLOYD JR P112/75	301/588
9854371750	MURRAY	WALLACE KENT	2912 GYM RD		Efland	NC	27243	7	S/S MURRAY RD	
9854382109	ANDY LLOYD LAND INVESTMENT COMPANY LLC		2701 US HIGHWAY 70W	C/O BEN LLOYD	EFLAND	NC	27243	1	N/S MURRAY RD	5517/453
9854382278	ANDY LLOYD LAND INVESTMENT COMPANY LLC		2701 US 70W	C/O BEN LLOYD	EFLAND	NC	27243	1.01	2 A B LLOYD JR P83/61	5517/453
9854382654	SNYDER	KENNETH A	109 S LLOYDS DAIRY RD		EFLAND	NC	27243	1.66	#1 A B LLOYD JR P83/61	1919/473
9854483394	LLOYD	ANDREW B JR	2701 US 70 W		EFLAND	NC	27243	54.44	1 A B LLOYD JR P112/75	301/588
9854550923	LLOYD	ANDREW B JR	2701 US 70 W		EFLAND	NC	27243	35.18	3 A B LLOYD JR P112/75	301/588
9854574383	LLOYD	ANDREW B JR	2701 US 70 W		EFLAND	NC	27243	91.86	2 A B LLOYD JR P112/75	301/588

EXHIBIT B –  
FUTURE LAND USE MAP  
ORANGE COUNTY  
COMPREHENSIVE PLAN

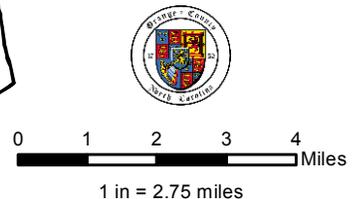
# Future Land Use Map of the Orange County Comprehensive Plan



Adoption Date: Nov 18, 2008  
Amended through November 2014



- Legend:**
- Watershed Critical Areas
  - Water Supply Watersheds
  - OC/CH/CA Joint Planning Area
  - Public Interest Areas
  - Resource Protection Areas
  - 10 Year Transition
  - 20 Year Transition
  - Rural Residential
  - Rural Buffer
  - Agricultural Residential
  - City Limits
  - ETJ
- Activity Nodes**
- Rural Neighborhood
  - Commercial Transition
  - Commercial-Industrial Transition
  - Economic Development Transition
  - Rural Community
  - Rural Industrial



Orange County and Planning and Inspections Department.  
This copy printed January 29, 2016.  
Map is for reference use only.  
Contact Planning staff for verification of data.

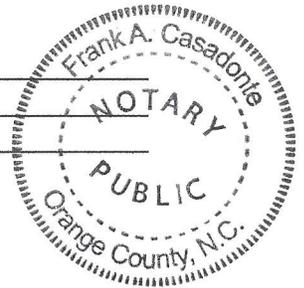
# EXHIBIT C – PROPERTY OWNER AUTHORIZATION

**AUTHORIZATION**

I, the undersigned, for and on behalf of S.L. Efland Heirs, LLC, owner of the land identified as Parcel Identification Number 9854161576 in Orange County, North Carolina, hereby authorize Buc-ee's, Ltd., a Texas limited partnership, to submit a Master Plan Development Conditional Zoning Application to the Orange County Planning and Inspections Department.

**S.L. EFLAND HEIRS, LLC,**  
a North Carolina limited liability company

By: Robbin Taylor Hall  
Name: Robbin Taylor Hall  
Title: Authorized Agent



**ACKNOWLEDGMENT**

STATE OF NORTH CAROLINA           §  
                                                          §  
COUNTY OF Orange                   §

I, Frank A Casadonte, \_\_\_\_\_, certify that Robbin Taylor-Hall personally came before me this day and acknowledged that he/she is the Authorized Agent of S.L. Efland Heirs, a North Carolina limited liability company and that he/she, as an Authorized Agent, being authorized to do so, executed the foregoing on behalf of the limited liability company.

Witness my hand and official seal, this the 6<sup>th</sup> day of August 2020,

Frank A. Casadonte  
My Commission 10/3/2023



# EXHIBIT D – SIGNAGE PACKAGE

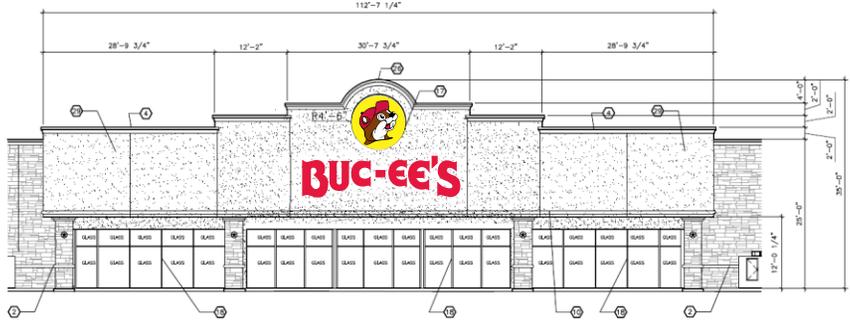




SCALE: 1/32" = 1'-0"

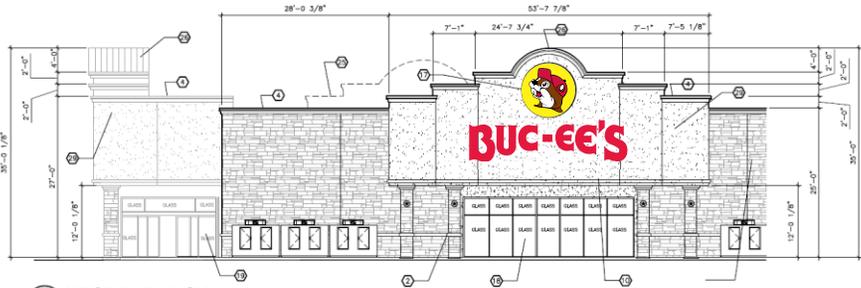


1 EAST ELEVATION



3 NORTH ELEVATION

Copyright 2014



5 WEST ELEVATION

**SIGN AREA:**  
**206.5 X 3**  
**TOTAL AREA: 620**

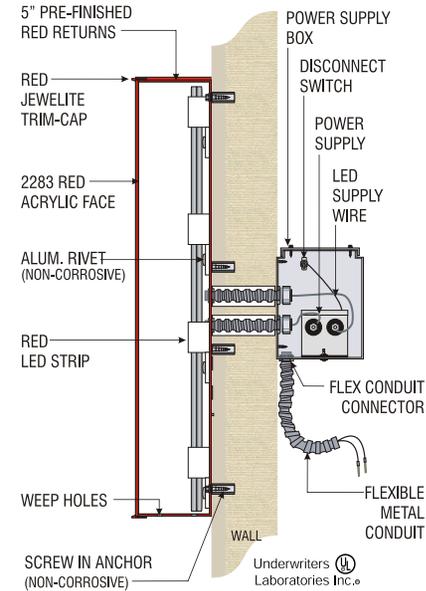


**MFG. & INSTALL:**  
 THREE (3) SETS OF 7' INTERN. ILLUM. RED LED CHANNEL LETTERS,  
 "BUC-EE'S" TO BE INSTALLED ONTO THE **NORTH, EAST, & WEST ELEVATIONS**

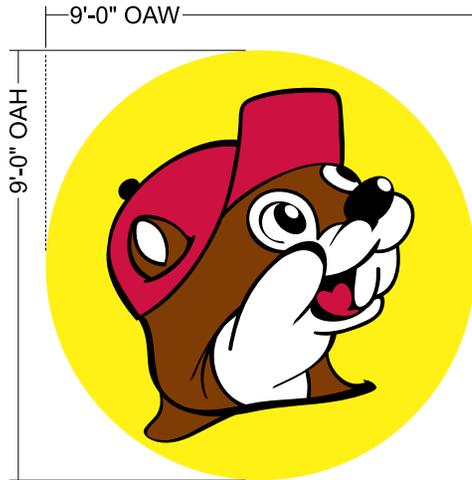
- **FACES:** 2283 RED ACRYLIC
- **TRIMCAP:** 2" RED JEWELITE
- **RETURNS:** 5" DEEP ALUM. PRE-FINISHED RED
- **BACKS:** ALUM. PTD. RED
- **LIGHTING:** RED LED
- **INSTALL:** FLUSH MOUNTED ON WALL FASCIA

**COLOR SPECS**

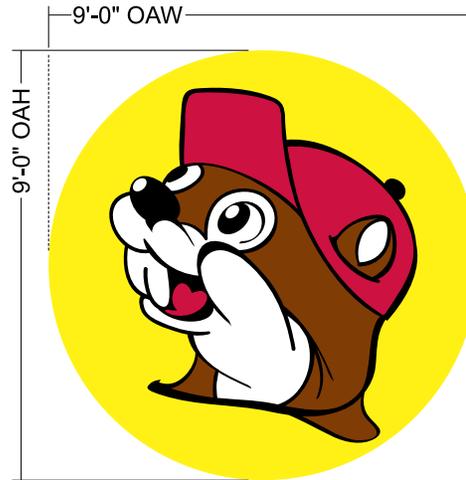
- 2283 RED ACRYLIC
- 2" RED TRIM-CAP
- 5" PRE-FINISHED RED RETURNS



**CHANNEL LETTERS FLUSH MOUNTED  
 W/ REMOTE POWER SUPPLY(S)**



**MFG. & INSTALL  
TWO (2) RIGHT FACING LOGOS  
TO BE INSTALLED ON THE  
NORTH & EAST ELEVATIONS**



**MFG. & INSTALL  
ONE (1) LEFT FACING LOGO  
TO BE INSTALLED ON THE  
WEST BUILDING ELEVATION**

**SIGN AREA:  
64 X 3  
TOTAL AREA: 192**

**• MFG. & INSTALL:**  
THREE (3) INTERN. ILLUM. CABINETS W/ FLEX FACES  
TWO (2) LOGO'S ARE TO FACE RIGHT - ONE (1) LOGO TO FACE LEFT

**• FACE:** FULL BLEED WHITE FLEX FACE W/ CUT VINYL GRAPHICS AS PER COLOR KEY

**• RETURNS:** ALUM., 12" DEEP PTD. BLACK

**• BACKS:** ALUM. PTD. BLACK

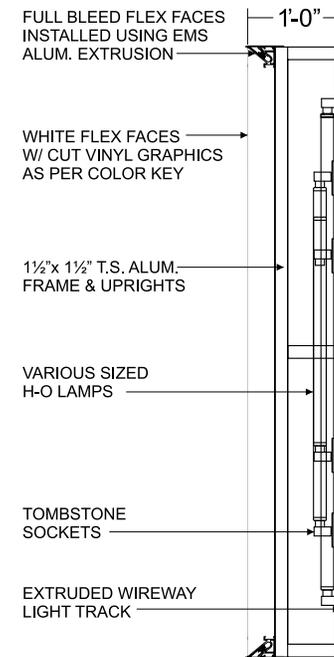
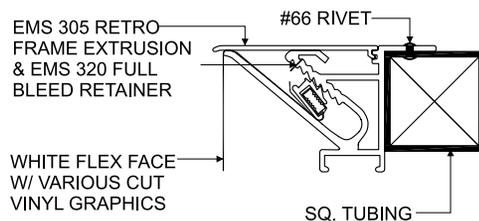
**• ILLUMINATION:** H-O FLUORESCENT LAMPS

**• INSTALLATION:** FLUSH MOUNT TO WALL FASCIA

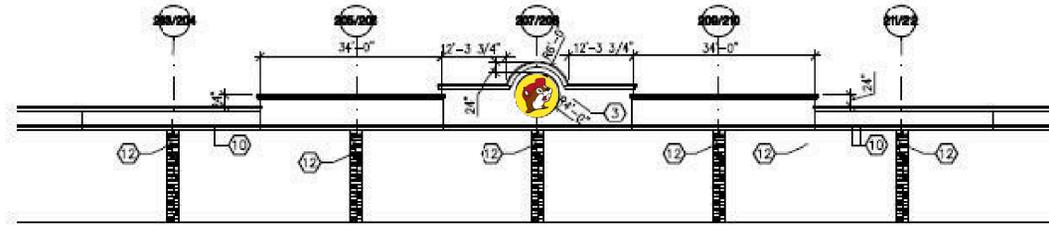
**COLOR SPECS**

- ARLON 33 RED • PMS 485c
- ARLON 63 RUST • PMS 483c
- ARLON 15 YELLOW • PMS 109c
- BLACK    □ WHITE

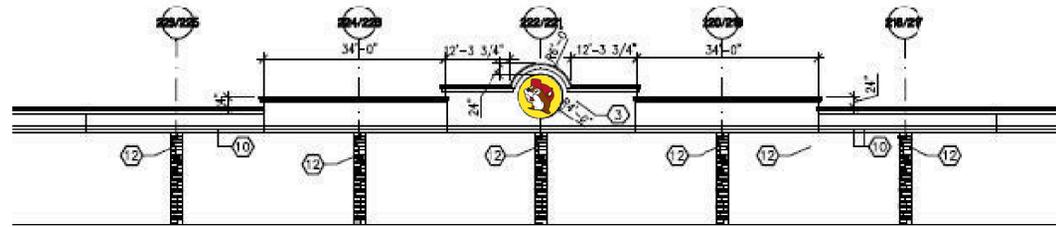
**FLEX FACE RETRO FRAME - DETAIL**



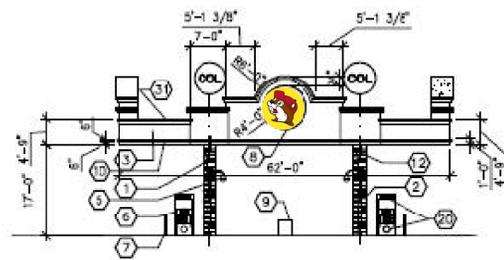
**9'-0" LOGO CABINET DETAIL - NTS**



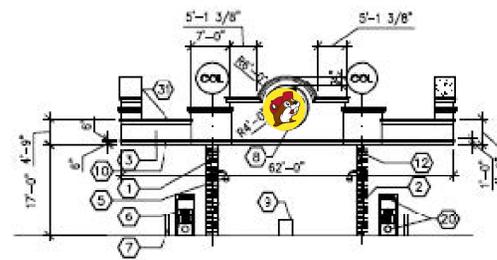
**1**  
FUEL CANOPY  
NORTH ELEVATION  
A3.0.1 SCALE: 1/16" = 1' - 0"



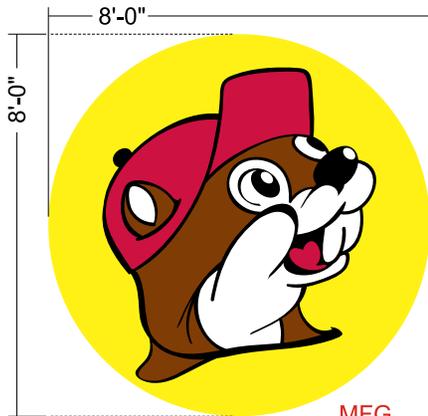
**1**  
FUEL CANOPY  
SOUTH ELEVATION  
A3.0.1 SCALE: 1/16" = 1' - 0"



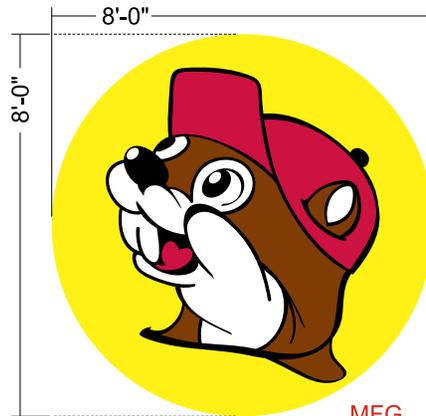
**8**  
FUEL CANOPY  
WEST ELEVATION  
A3.0.1 SCALE: 1/16" = 1' - 0"



**7**  
FUEL CANOPY  
EAST ELEVATION  
A3.0.1 SCALE: 1/16" = 1' - 0"



MFG.  
THREE (3) RIGHT  
FACING LOGOS  
NORTH, WEST, & SOUTH  
ELEVATIONS



MFG.  
ONE (1) LEFT  
FACING LOGO  
EAST ELEVATION

- **MFG. & INSTALL:**  
FOUR (4) INTERN. ILLUM. CABINETS W/ FLEX FACES.  
ONE (1) W/ LOGO FACING LEFT - THREE (3) FACING RIGHT  
TO BE INSTALLED FLUSH ONTO GAS STATION CANOPY

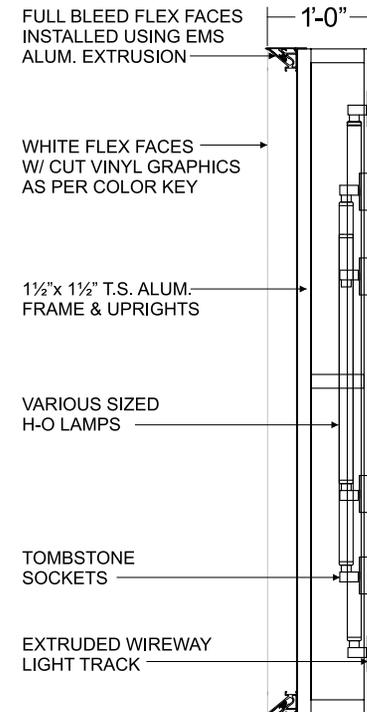
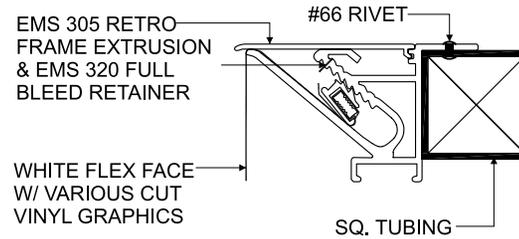
- **FACES:** FULL BLEED WHITE FLEX FACE W/ CUT VINYL GRAPHICS AS PER COLOR KEY
- **RETURNS:** ALUM., 12" DEEP PTD. BLACK
- **BACKS:** ALUM. PTD. BLACK
- **ILLUMINATION:** H-O FLUORESCENT LAMPS
- **INSTALLATION:** FLUSH MOUNT TO WALL FASCIA  
*(GAS STATION CANOPY)*

**COLOR SPECS**

- ARLON 33 RED • PMS 485c
- ARLON 63 RUST • PMS 483c
- ARLON 15 YELLOW • PMS 109c
- BLACK    □ WHITE

TOTAL AREA  
50 X 4 =  
**TOTAL AREA: 200**

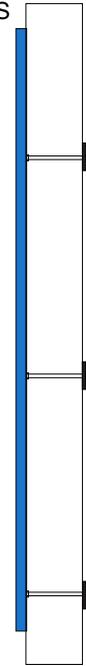
**FLEX FACE RETRO FRAME - DETAIL**



**8'-0" LOGO CABINET DETAIL - NTS**



MOUNTED FLUSH TO WALL USING THRU-BOLTS



SIGN AREA  
5.5 X 8 =  
**TOTAL AREA: 44**

QTY: TBD

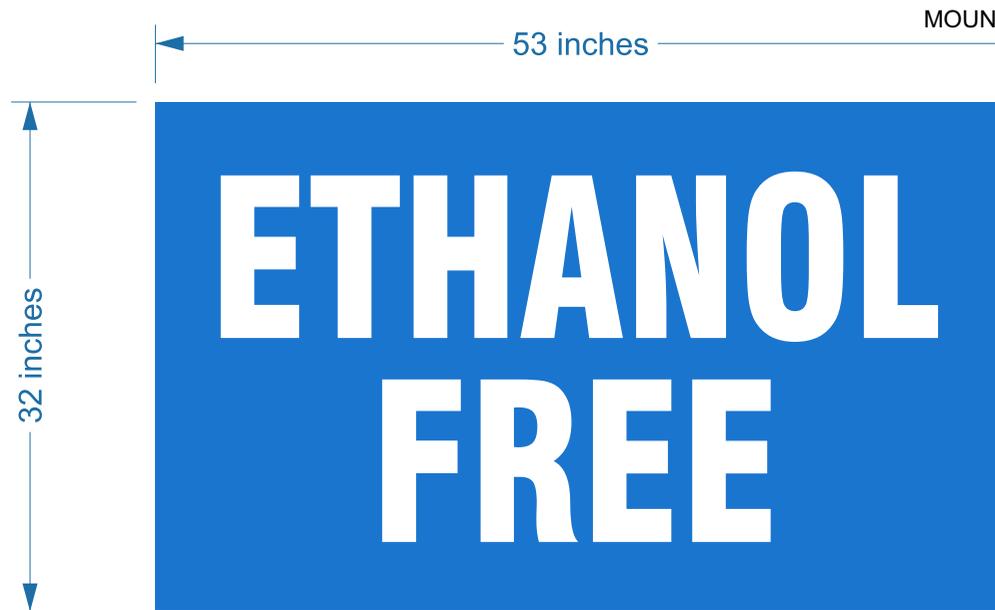
• MFG. & INSTALL:

NON-ILLUMINATED .125" ALUM. PANEL PTD BLUE  
W/ WHITE VINYL LETTERING APPLIED  
INSTALL FLUSH ON EXISTING GAS CANOPY

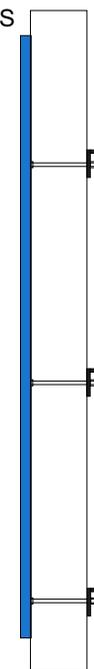
**COLOR SPECS**

■ PROCESS BLUE / 285C

□ WHITE



MOUNTED FLUSH TO WALL USING THRU-BOLTS



SIGN AREA  
5.5 X 8 =  
**TOTAL AREA: 44**

• MFG. & INSTALL:

QTY: TBD

NON-ILLUMINATED .125" ALUM. PANEL PTD BLUE  
W/ WHITE VINYL LETTERING APPLIED  
INSTALL FLUSH ON EXISTING GAS CANOPY

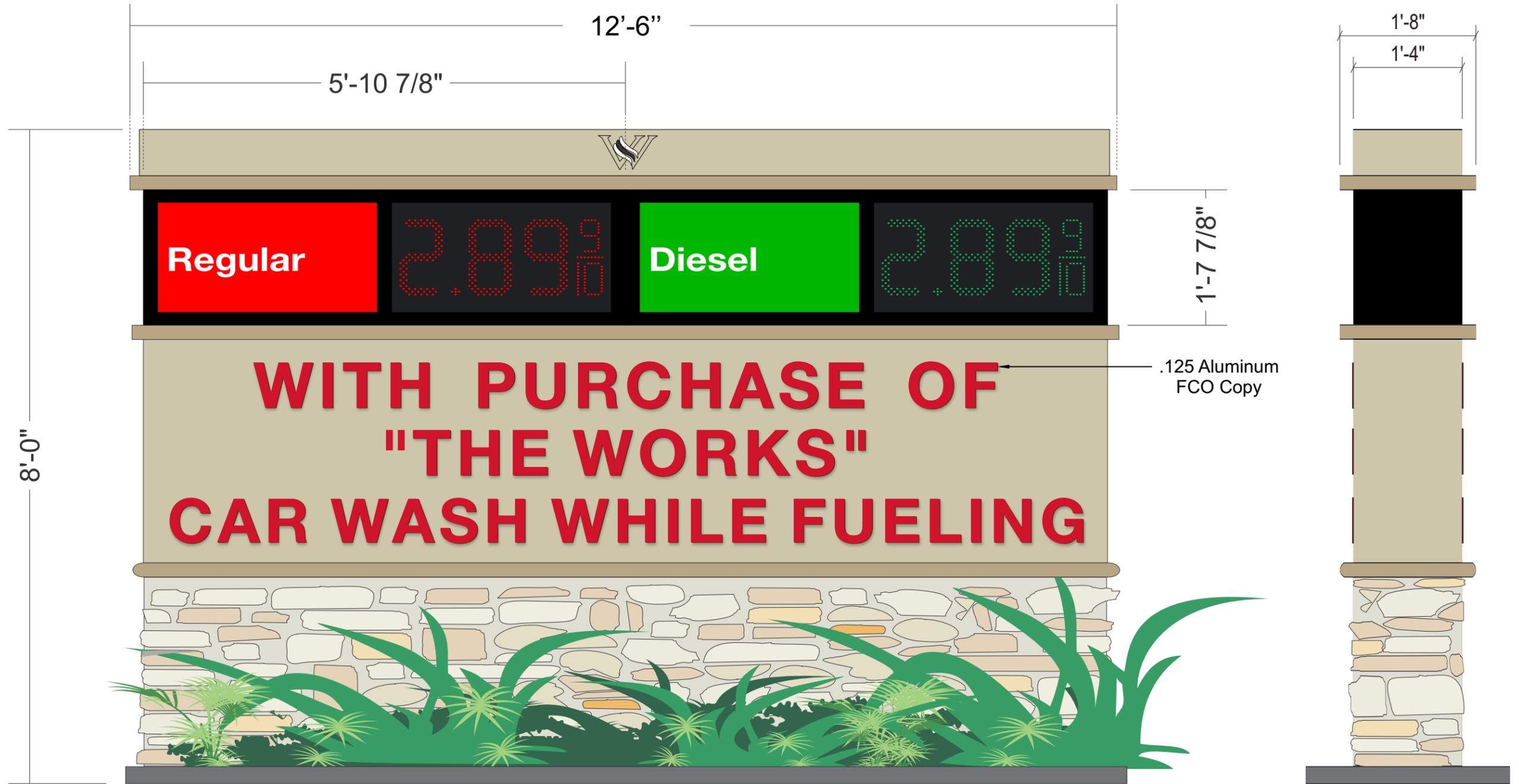
**COLOR SPECS**

■ PROCESS BLUE / 285C

□ WHITE

94.13 SQ. FEET

SCALE: 3/4" = 1'-0"



**Front Elevation**

Scale: 3/4" = 1'-0"

**Side Elevation**

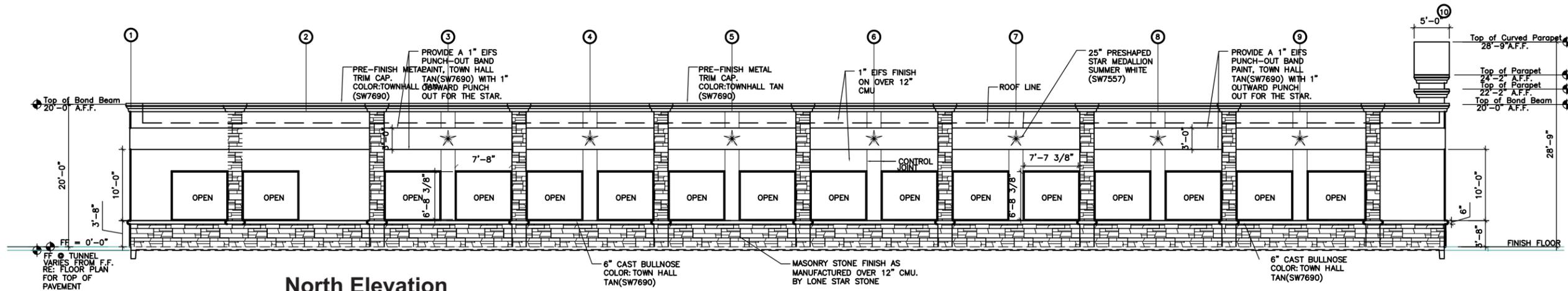
Scale: 3/4" = 1'-0"



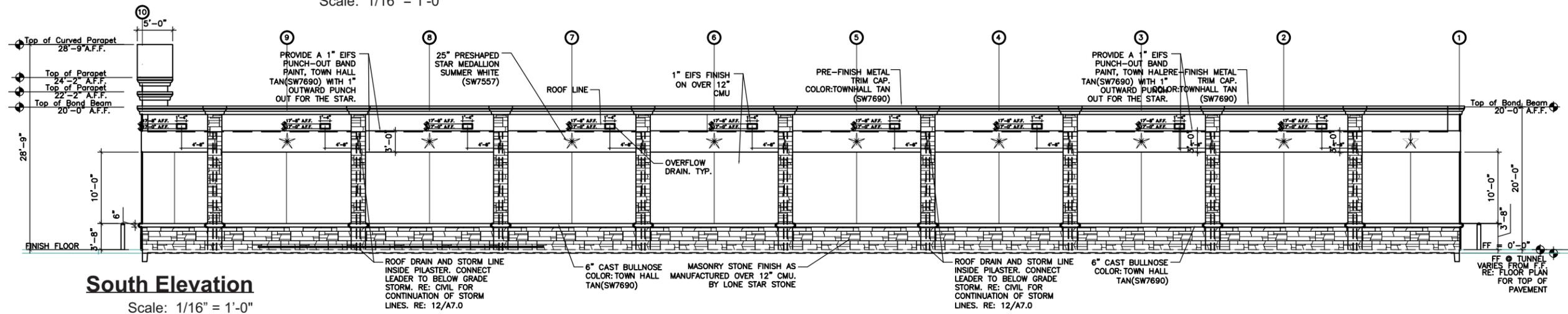
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REVISION

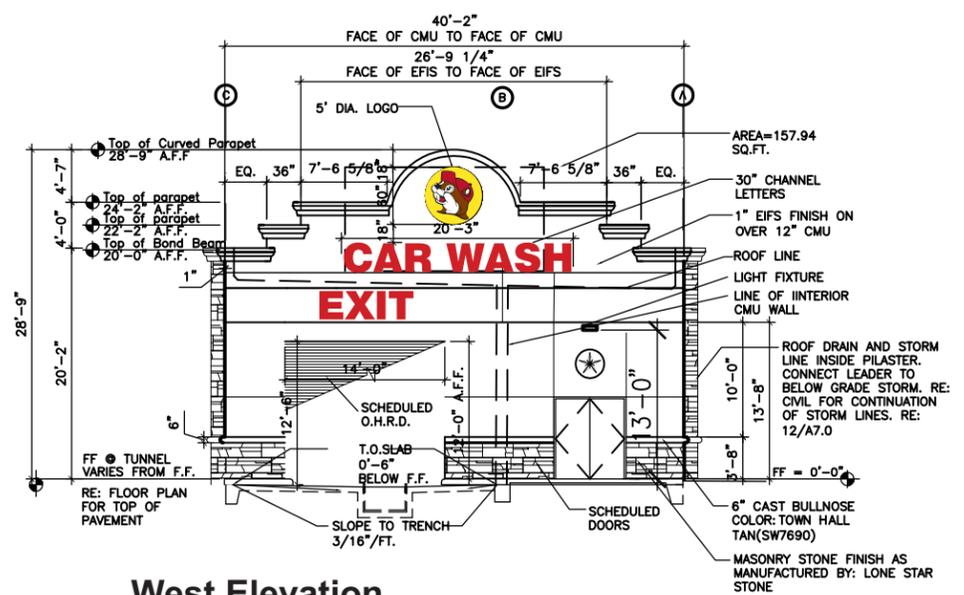
**GROUND MONUMENT SIGN**



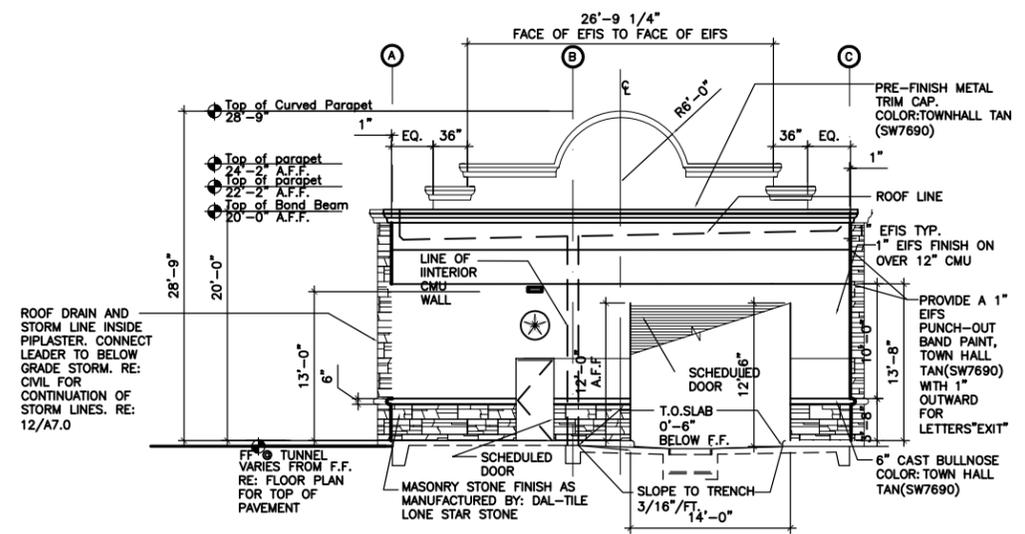
**North Elevation**  
Scale: 1/16" = 1'-0"



**South Elevation**  
Scale: 1/16" = 1'-0"



**West Elevation**  
Scale: 1/16" = 1'-0"



**East Elevation**  
Scale: 1/16" = 1'-0"



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Project Mgr: Brenda A.  
Designer: Josh D.  
Created on:

REVISION

R1	
	<b>CAR WASH ELEVATIONS</b>

25.0 SQ./FT.

SCALE: 3/4" = 1'-0"



**MFG. & INSTALL  
ONE (1) LEFT FACING LOGO  
TO BE INSTALLED ON THE  
WEST CAR WASH ELEVATION**

**COLOR SPECS**

- ARLON 33 RED • PMS 485c
- ARLON 63 RUST • PMS 483c
- ARLON 15 YELLOW • PMS 109c
- ARLON 22 BLACK
- WHITE

**• MFG. & INSTALL:  
ONE (1) INTERN. ILLUM. LOGO CABINET W/ WHITE FLAT ACRYLIC FACES OVERLAID  
W/ CUT VINYL GRAPHICS AS PER COLOR KEY**

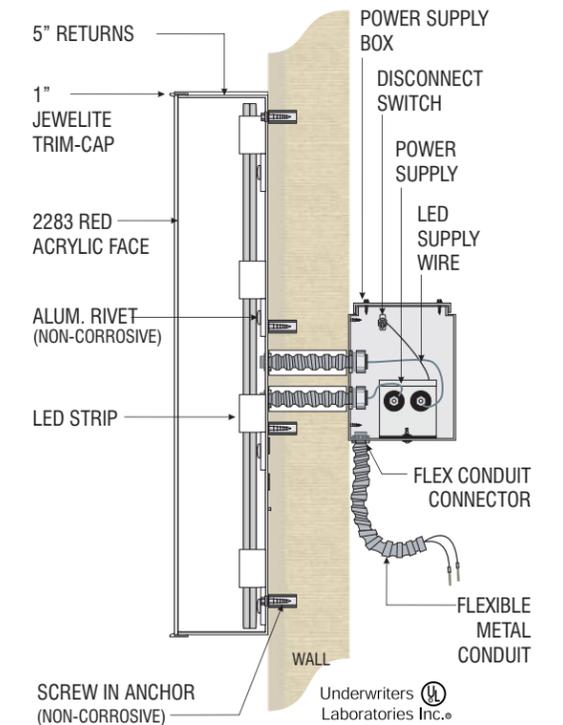
- FACES: 7328 WHITE ACRYLIC
- TRIMCAP: 1" BLACK JEWELITE
- RETURNS: 5" DEEP ALUM. PRE-FINISHED BLACK
- BACKS: ALUM. PTD. BLACK
- LIGHTING: WHITE LED
- INSTALL: FLUSH MOUNTED ON WALL FASCIA

**COLOR SPECS**

- ARLON 33 RED • PMS 485c
- ARLON 63 RUST • PMS 483c
- ARLON 15 YELLOW • PMS 109c
- BLACK □ WHITE

**ELECTRICAL REQUIREMENTS**

- 9' Single Face Cabinet
- (1) 120 volt circuit
- (1) @ 2.13 amps per cabinet



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Project ID#:  
Project Mgr:  
Designer:  
Created on:

REVISION R1

**CAR WASH LOGO**

49.78 SQ./FT.

SCALE: 1/2" = 1'-0"

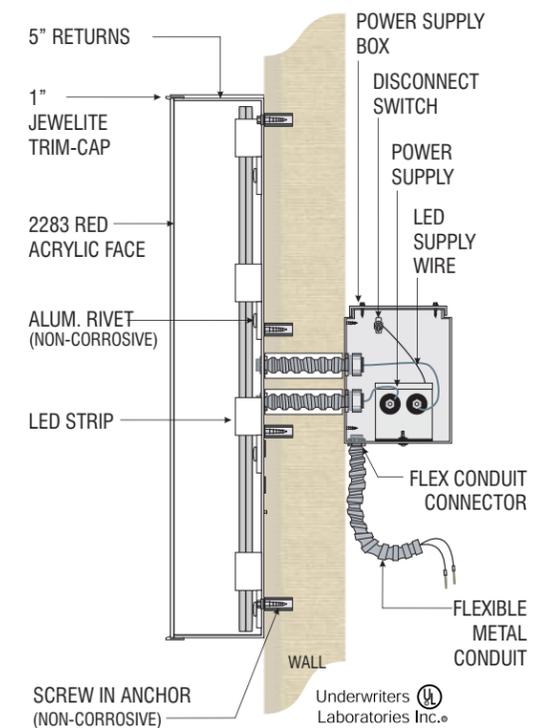


- **MFG. & INSTALL:**  
ONE (1) SET OF 30" INTERN. ILLUM. RED LED CHANNEL LETTERS

- **FACES:** 2283 RED ACRYLIC
- **TRIMCAP:** 1" RED JEWELITE
- **RETURNS:** 5" DEEP ALUM. PRE-FINISHED RED
- **BACKS:** ALUM. PTD. RED
- **LIGHTING:** RED LED
- **INSTALL:** FLUSH MOUNTED ON WALL FASCIA

### COLOR SPECS

- 2283 RED ACRYLIC
- 1" RED TRIM-CAP
- 5" PRE-FINISHED RED RETURNS



CHANNEL LETTERS FLUSH MOUNTED W/ REMOTE POWER SUPPLY(S)



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Project ID#:  
Project Mgr:  
Designer:  
Created on:

REVISION R1

CAR WASH LOGO

49.78 SQ./FT.

SCALE: 1/2" = 1'-0"

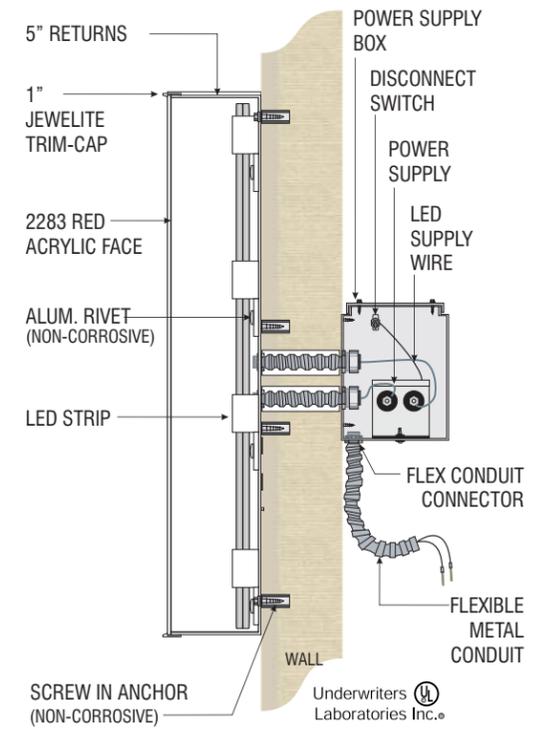


- **MFG. & INSTALL:**  
ONE (1) SET OF 30" INTERN. ILLUM. RED LED CHANNEL LETTERS

- **FACES:** 2283 RED ACRYLIC
- **TRIMCAP:** 1" RED JEWELITE
- **RETURNS:** 5" DEEP ALUM. PRE-FINISHED RED
- **BACKS:** ALUM. PTD. RED
- **LIGHTING:** RED LED
- **INSTALL:** FLUSH MOUNTED ON WALL FASCIA

**COLOR SPECS**

- 2283 RED ACRYLIC
- 1" RED TRIM-CAP
- 5" PRE-FINISHED RED RETURNS



**CHANNEL LETTERS FLUSH MOUNTED  
W/ REMOTE POWER SUPPLY(S)**

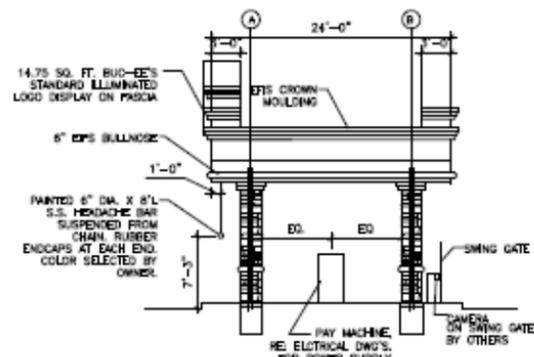


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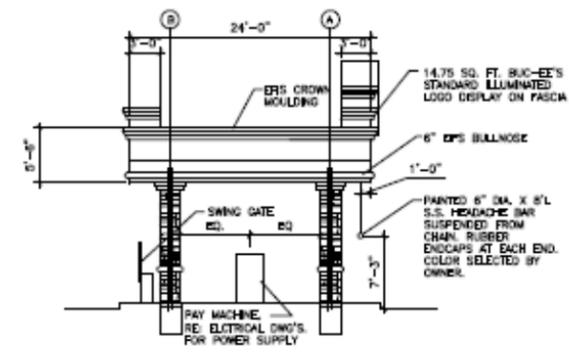
Project ID#:  
Project Mgr:  
Designer:  
Created on:

REVISION  
R1

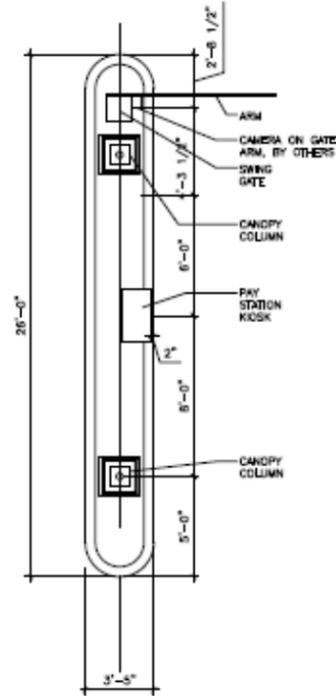
**CAR WASH LOGO**



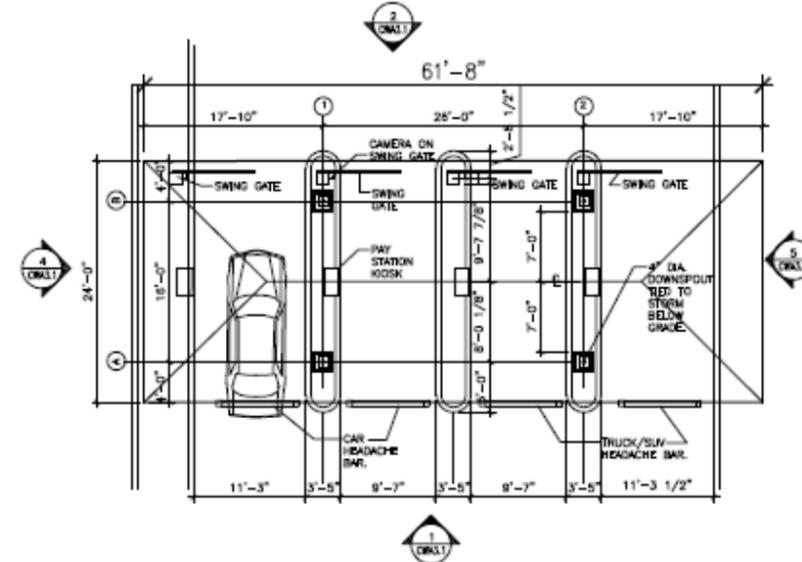
**5 PAY STATION-SOUTH ELEVATION**  
CWA3.1 SCALE: 1/8" = 1'-0"



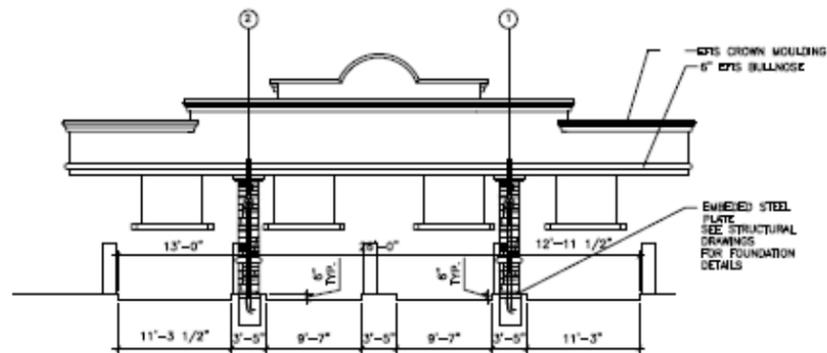
**4 PAY STATION-NORTH ELEVATION**  
CWA3.1 SCALE: 1/8" = 1'-0"



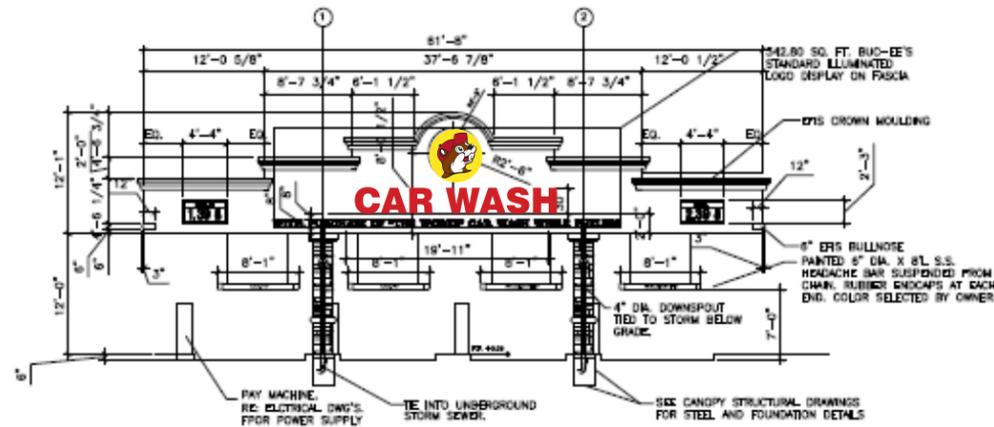
**6 PAY STATION ENLARGED ISLAND PLAN**  
CWA3.1 SCALE: 1/4" = 1'-0"



**3 PAY STATION FLOOR PLAN**  
CWA3.1 SCALE: 1/8" = 1'-0"



**2 PAY STATION-EAST ELEVATION**  
CWA3.1 SCALE: 1/8" = 1'-0"



**1 PAY STATION-WEST ELEVATION**  
CWA3.1 SCALE: 1/8" = 1'-0"



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Project ID#: \_\_\_\_\_  
Project Mgr: \_\_\_\_\_  
Designer: \_\_\_\_\_  
Created on: \_\_\_\_\_

REVISION  
R1

**PAY STATION ELEVATION**

25.0 SQ./FT.

SCALE: 3/4" = 1'-0"



**MFG. & INSTALL  
ONE (1) RIGHT FACING LOGO  
TO BE INSTALLED ON THE  
WEST PAY STATION**

**COLOR SPECS**

- ARLON 33 RED • PMS 485c
- ARLON 63 RUST • PMS 483c
- ARLON 15 YELLOW • PMS 109c
- ARLON 22 BLACK
- WHITE

- **MFG. & INSTALL:  
ONE (1) INTERN. ILLUM. LOGO CABINET W/ WHITE FLAT ACRYLIC FACES OVERLAID  
W/ CUT VINYL GRAPHICS AS PER COLOR KEY**

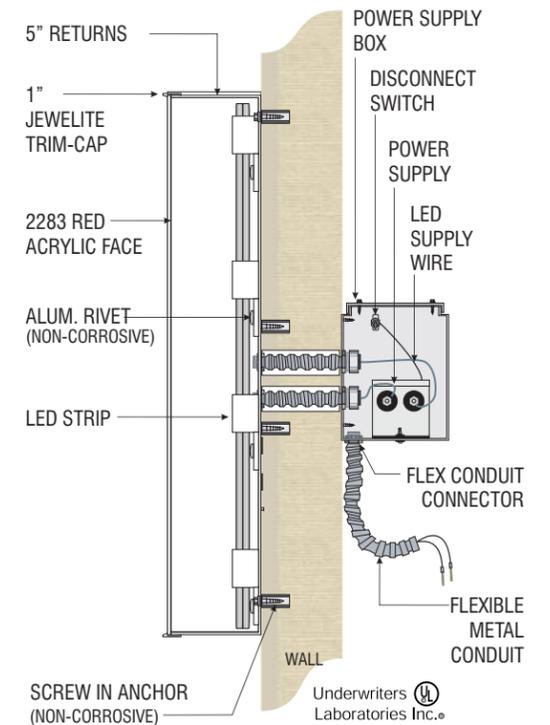
- **FACES: 7328 WHITE ACRYLIC**
- **TRIMCAP: 1" BLACK JEWELITE**
- **RETURNS: 5" DEEP ALUM. PRE-FINISHED BLACK**
- **BACKS: ALUM. PTD. BLACK**
- **LIGHTING: WHITE LED**
- **INSTALL: FLUSH MOUNTED ON WALL FASCIA**

**COLOR SPECS**

- ARLON 33 RED • PMS 485c
- ARLON 63 RUST • PMS 483c
- ARLON 15 YELLOW • PMS 109c
- BLACK □ WHITE

**ELECTRICAL REQUIREMENTS**

- 9' Single Face Cabinet
- (1) 120 volt circuit
- (1) @ 2.13 amps per cabinet



**CHANNEL LETTERS FLUSH MOUNTED  
W/ REMOTE POWER SUPPLY(S)**



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Project ID#: \_\_\_\_\_  
Project Mgr: \_\_\_\_\_  
Designer: \_\_\_\_\_  
Created on: \_\_\_\_\_

REVISION R1

**PAY STATION LOGO**

49.78 SQ./FT.

SCALE: 1/2" = 1'-0"

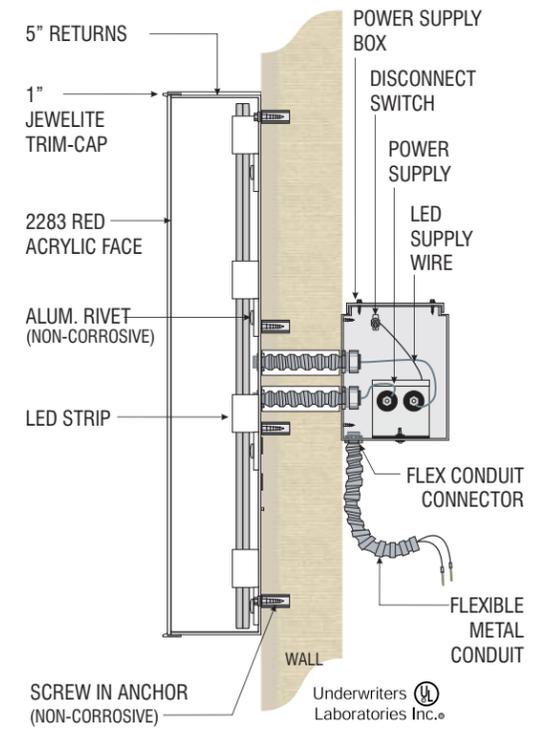


- **MFG. & INSTALL:**  
ONE (1) SET OF 30" INTERN. ILLUM. RED LED CHANNEL LETTERS

- **FACES:** 2283 RED ACRYLIC
- **TRIMCAP:** 1" RED JEWELITE
- **RETURNS:** 5" DEEP ALUM. PRE-FINISHED RED
- **BACKS:** ALUM. PTD. RED
- **LIGHTING:** RED LED
- **INSTALL:** FLUSH MOUNTED ON WALL FASCIA

**COLOR SPECS**

- 2283 RED ACRYLIC
- 1" RED TRIM-CAP
- 5" PRE-FINISHED RED RETURNS



**CHANNEL LETTERS FLUSH MOUNTED  
W/ REMOTE POWER SUPPLY(S)**



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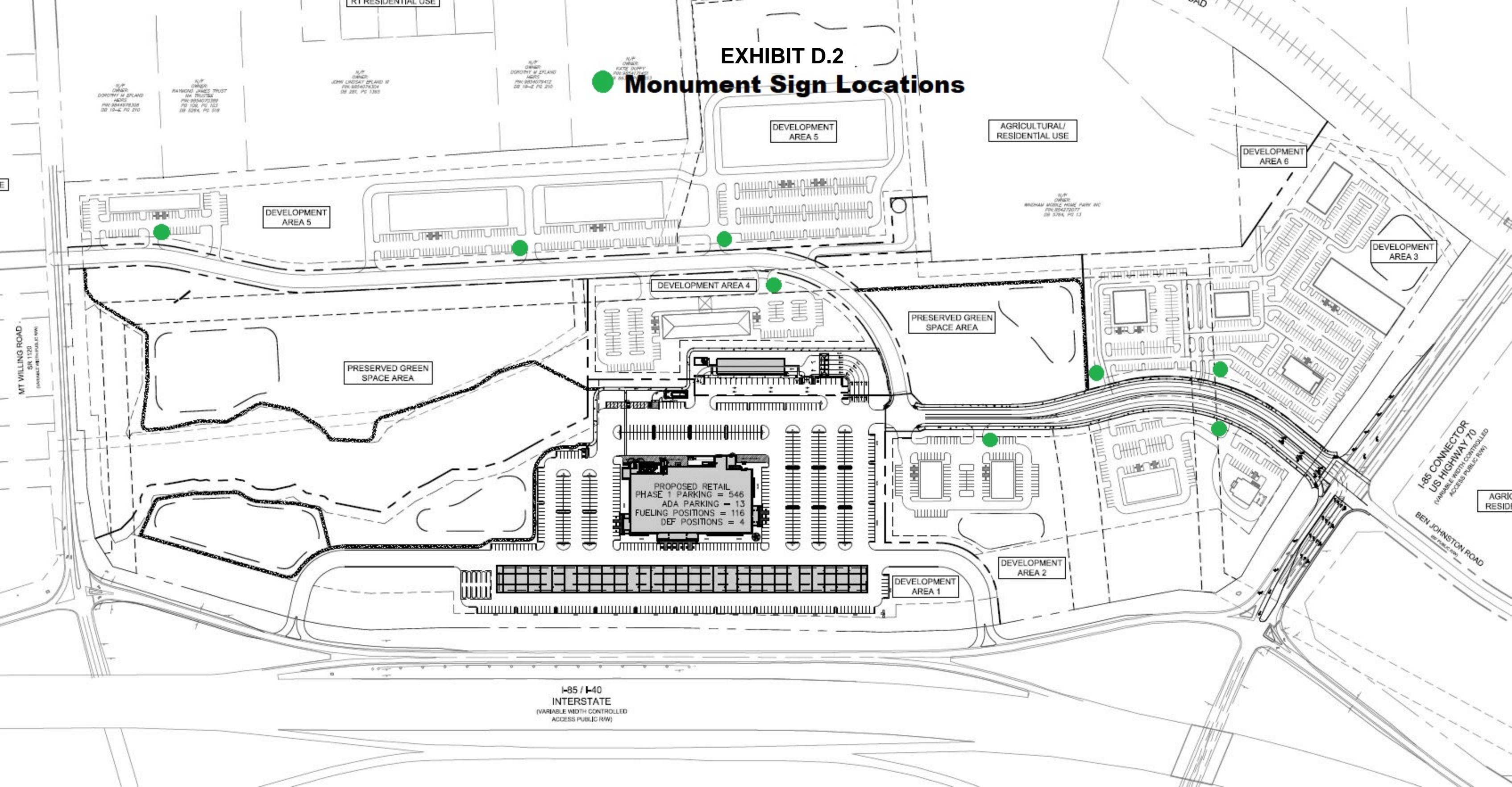
Project ID#:  
Project Mgr:  
Designer:  
Created on:

REVISION R1

**PAY STATION LOGO**

# EXHIBIT D.2

## Monument Sign Locations



PROPOSED RETAIL  
PHASE 1 PARKING = 546  
ADA PARKING = 13  
FUELING POSITIONS = 116  
DEF POSITIONS = 4

I-85 / I-40  
INTERSTATE  
(VARIABLE WIDTH CONTROLLED  
ACCESS PUBLIC R/W)

I-85 CONNECTOR  
US HIGHWAY 70  
(VARIABLE WIDTH CONTROLLED  
ACCESS PUBLIC R/W)

BEN JOHNSTON ROAD  
(PUBLIC R/W)

MT WILLING ROAD  
SR 1120  
(VARIABLE WIDTH PUBLIC R/W)

N/P OWNER:  
DOROTHY M EPLAND  
4632  
PIN 884478338  
DB 12-2 PG 210

N/P OWNER:  
RAYMOND JAMES TRUST  
NA TRUSTEE  
PIN 884478338  
PG 100 PG 101  
DB 5284 PG 318

N/P OWNER:  
JOHN LINDSAY EPLAND II  
PIN 8854074304  
DB 301 PG 1393

N/P OWNER:  
DOROTHY M EPLAND  
PIN 884478338  
DB 12-2 PG 210

N/P OWNER:  
KATE DUFFY  
PIN 884478338  
DB 12-2 PG 210

N/P OWNER:  
BRIAN MOBLE HOME PARK INC  
PIN 884478338  
DB 5284 PG 13

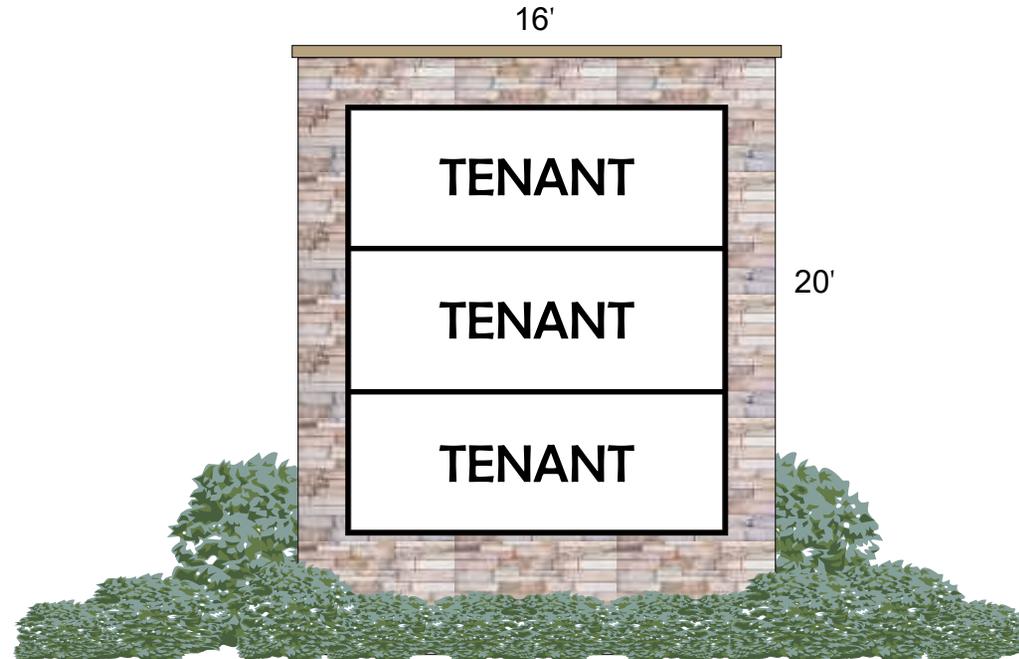
# MONUMENT SIGN

Maximum Height: 20Ft.

Maximum Width: 16Ft.

Maximum Sign Panel Area: 240 Sq.Ft.

## EXHIBIT D.3



Rendering for illustrative purposes  
Final materials and colors to be  
reviewed and approved by ARB

### COLOR SPECS

- WHITE
- BLACK
- SW 7690 TOWNHALL TAN



210.648.3221

southwestsigns.com

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**Buc-ee's  
Orange County, NC**

Project ID#:  
Project Mgr:  
Designer:  
Created on:

REVISION

Not to Scale

# EXHIBIT D.4

## BUILDING SIGN CRITERIA ALL BUILDINGS DEVELOPMENT AREAS 2-5

1. No sign, banner, or window graphic may be erected or installed without the prior written approval of Developer.
2. Signs or marketing of any kind are not allowed in the common areas of the shopping center.
3. Sign submittals must include a photo of the actual building exterior or rendering with the proposed sign superimposed on the building. Tenant must field verify all measurements.
4. Drawing must include the dimensions of the proposed sign and the dimensions the building façade/exterior where sign will be placed.
5. Tenant shall be held liable and shall bear all costs for removal and/or correction of signs, sign installation and damage by signs that do not conform to the sign criteria as set forth in these Sign Criteria and the approved sign drawings. The Tenant shall also be liable for repair of any damage caused by the installation of Tenant's signs.
6. The style and font of all letters and/or logos on Tenant's signs must be approved by Developer. Approval of logos, insignias, crests, brand names, shields, etc. is at Developer's discretion.
7. Banners must be approved in writing by Developer. Banners, if approved, may remain up for no more than 30 days. This includes "Coming Soon," "Now Hiring" and "Now Open" banners. Banners must be secured at all 4 corners and remain level and taut. Tenant shall submit proposed banner anchorage method/details to Developer for review and approval prior to installation.
8. All sign components, including tenant name and logo, must be internally illuminated. Signs shall be controlled by Tenant's photocell and shall be timed to go off at dawn and on at dusk, adjusted as necessary due to seasonal changes throughout the year. Tenant's sign may not be controlled solely by a time clock.
9. No labels will be permitted on the exposed surface of the signs except those required by local ordinance which shall be applied in an inconspicuous location.
10. Window signs or graphics of any kind must have Developer's approval prior to installation. A maximum of 25% of the window surface as defined from floor to ceiling of every other window will be allowed if approved.

### **SIZING AND GRAPHICS:**

1. **MULTI TENANT BUILDINGS:** Maximum horizontal length or span of sign shall not exceed 80% of the width of the usable, one surface storefront of a particular Tenant's space and not to exceed 64 square feet. If the width of the storefront contains more than one building/facade material, the Tenant shall use only one building/facade material width to determine 80%. No sign may cover two different façade surfaces.
2. **SINGLE TENANT BUILDINGS:** One wall sign per building façade is allowed and each sign shall not exceed 1 square foot of sign area per 1 foot of building length of each façade up to a maximum of 64 square feet for each building façade. No sign may cover two different façade surfaces.

3. The sign shall be located on the assigned sign surface at Developer's discretion.
4. Minimum stroke of letters shall be 2".
5. Signs shall consist of individual channel letters with a 5" return, mounted on a 2" x 7" wire way with a backer / back plate / silhouette / cloud. **Race way must NOT be visible from the front of the sign.** Flush mounting MAY be an option at Developer's discretion.

**CONSTRUCTION (See Figure 1):**

Backer / Backing Plate / Silhouette

- All signs shall utilize a 3" border around all sign copy
- Color: Dark Bronze #313.
- The raceway / wire way must not be visible from the front of the sign. Flush mounting may be an option at Developer's discretion.

Acrylic Faces

- 3/16" minimum thickness.
- Color: Plexiglas White – 7328 (Rohm & Haas).

LED Lighting

- One row of LED modules for letters less than 4"; two rows of LED modules for stroke 4" or more, but less than 9"; three rows of LED modules for letters 9" or more.
- Color: 6400K LED White

Sign Mounting

- Location of sign shall be on the fascia, centered over the premises, as specified by Developer.
- One (1) sign per storefront facade.

Return

- Aluminum
- Finish: Industrial enamel.
- Color: Dark Bronze #313
- Color of trim cap connecting acrylic face to return to match color of the return, Dark Bronze # 313.

Power Supply

- Must be located behind the fascia
- 60 M.A. minimum
- LED – 60 watt, 120 volt input, 12 volt output
- Any fasteners, screws, bolts, etc. used in fabrication and erection shall be non-ferrous and all penetrations to the building shall be sealed with silicone sealant.

## **MONUMENT SIGN TENANT PANELS:**

1. A photo must be included of the proposed art superimposed on the actual pylon in the allotted space. Panels must be installed-back-to-back on both sides of the pylon.
2. Tenant's sign company must field verify all measurements. Developer does not provide façade or monument panel measurements.
3. Panel background color to be 3M translucent vinyl -Duranodic 3630-69 Dark Bronze with white copy or white logo. Vinyl applied over the aluminum panels is not allowed. Tenant's sign company should verify all materials and colors before fabrication/installation.
4. Phone numbers and taglines are not allowed on monument panels.
5. White Developer "blank" panels will have a UV coating on one side only. Sign companies must place vinyl sign on UV coated side so that the panel does not yellow. If the panel yellows prematurely, Tenant will be required to replace the panel and vinyl, at Tenant's cost.

## **SUITE NUMBERS:**

1. The suite number shall be located above the main/front door and back door. Centered above door for the front door and placed at eye level for the back door.
2. Type style shall be san serif. Characters shall not be italic, oblique, script, highly decorative, or of other unusual forms.
3. Character height shall be a minimum of 4 inches and a maximum of 6 inches.
4. Character should be black or white in color.

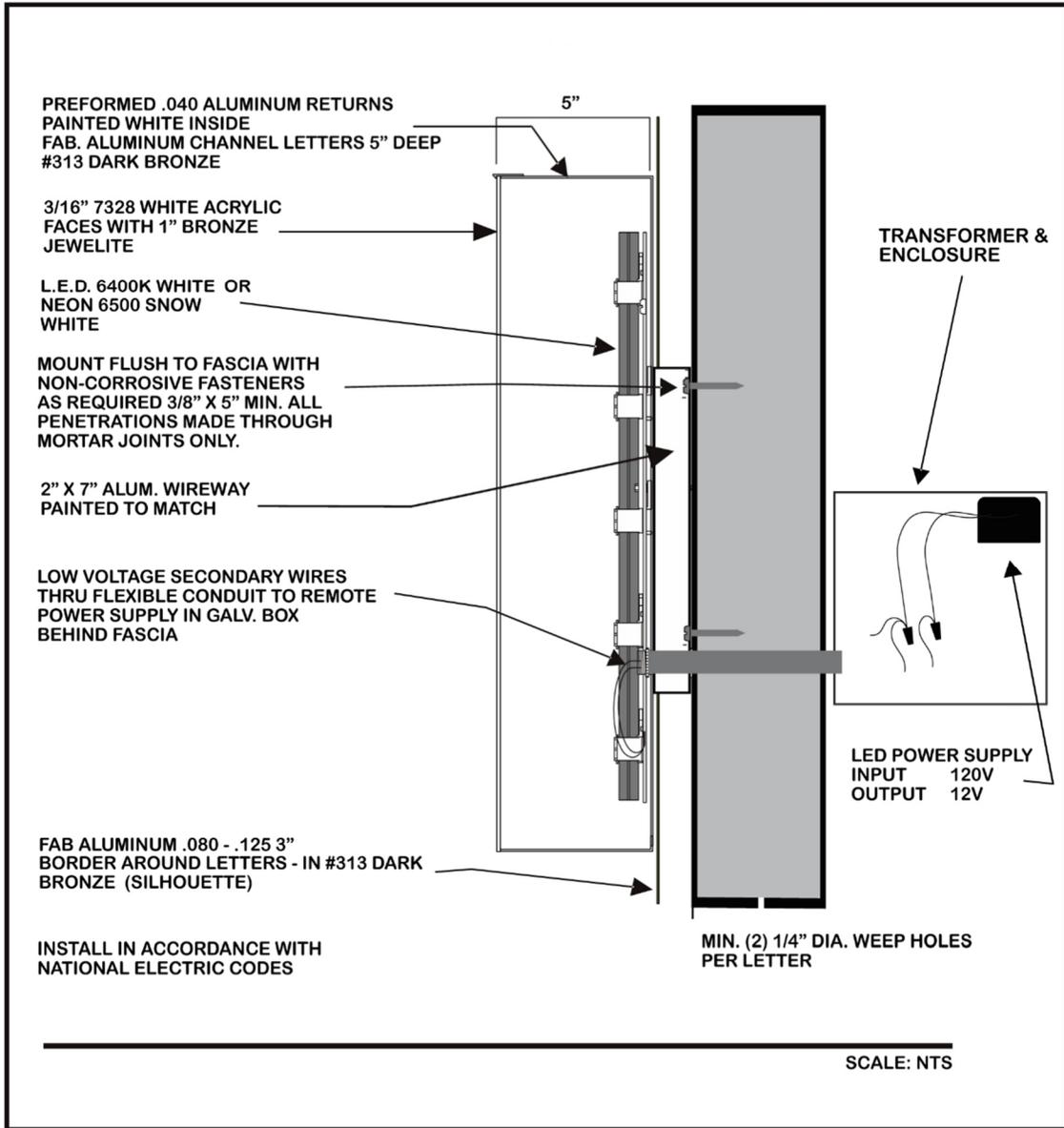
## **WINDOW TINTING / COVERINGS:**

1. Storefront windows may be tinted to block sun, heat or for privacy only with Developer approval.
2. Mini blinds or roller shades are not permitted without Developer approval. Curtain / drapes and vertical blinds are not allowed.
3. Window tint must be black in color, transparent (not black out) and non-reflective / non-mirrored. Developer approval must be given for window tinting.

## **PROHIBITED SIGNS:** These types of signs and marketing devices are expressly not permitted.

- Moving, flashing, blinking
- Roof-mounted
- Portable / sandwich board signs
- Human sign "twirlers/holders"
- Automobiles or vehicles that advertise a business unless used DAILY for food deliveries
- Neon or LED rope lights
- Search lights
- Box / light-box style storefront signs
- Signage placed in the common areas of a building
- Visible wireways are not allowed under any circumstances – all raceways must be hidden within the design of the sign or covered with a backer plate

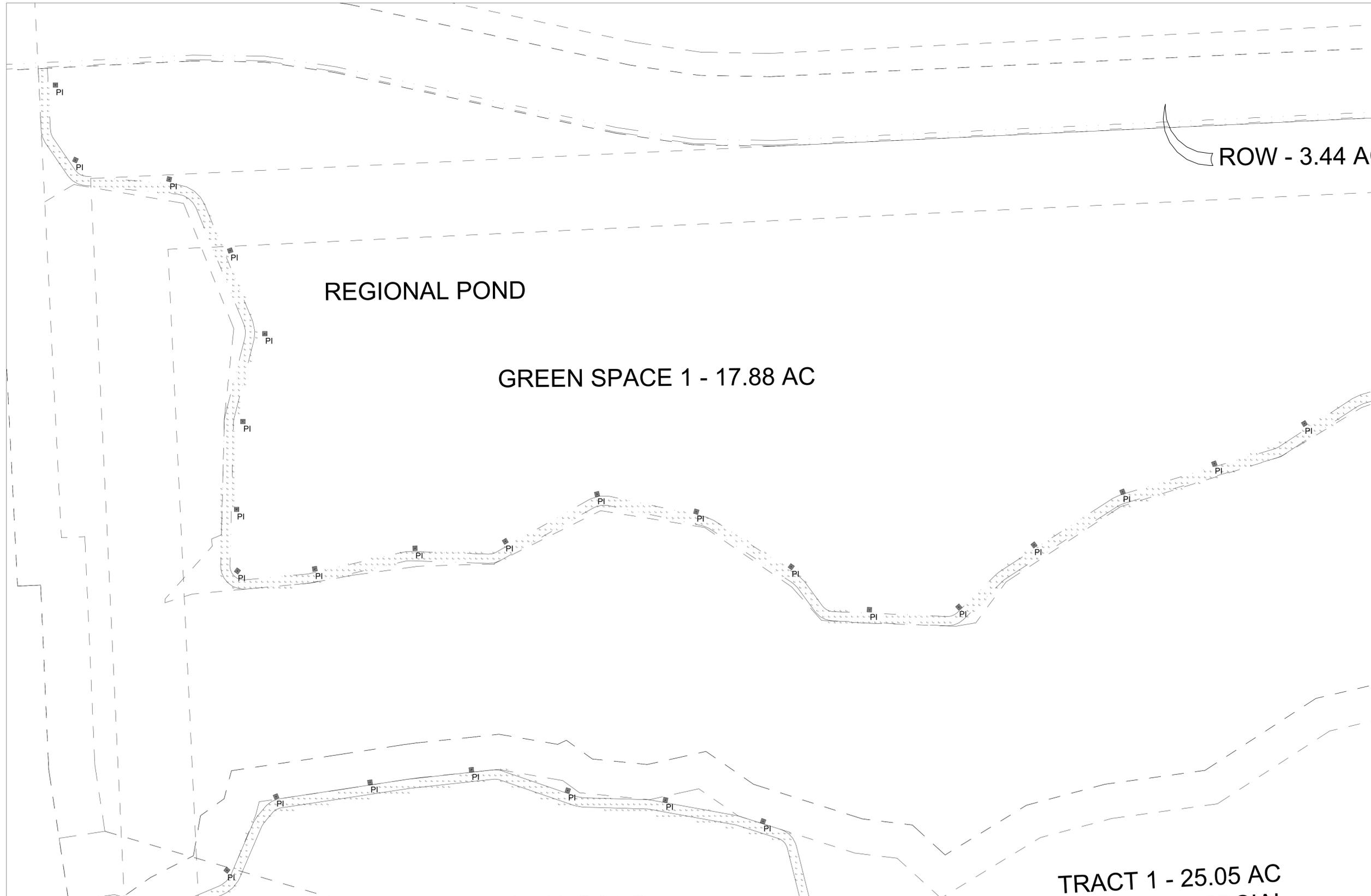
**FIGURE 1**



**EXHIBIT E – CONCEPTUAL LIGHTING  
PLAN (DEVELOPMENT AREA 1)**

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.



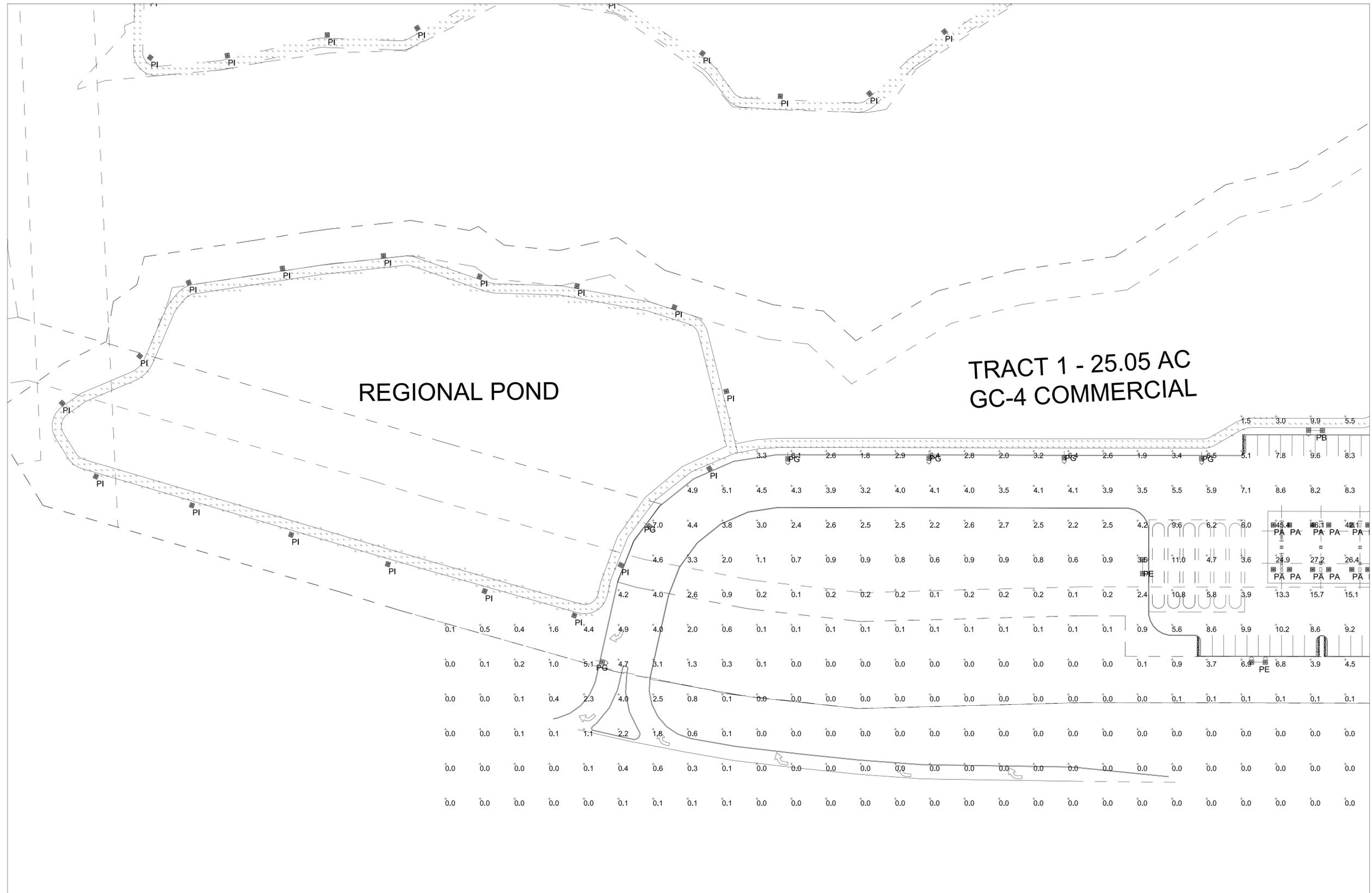
JOB NO.  
RCI-0115

JOB NAME  
BUC-EES  
EFLAND, NC

DESIGNER: LLS DATE: 8/5/20 SHEET 1 OF 7  
SCALE: 1" = 40' 0 40

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps, LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.



JOB NO.  
**RCI-0115**

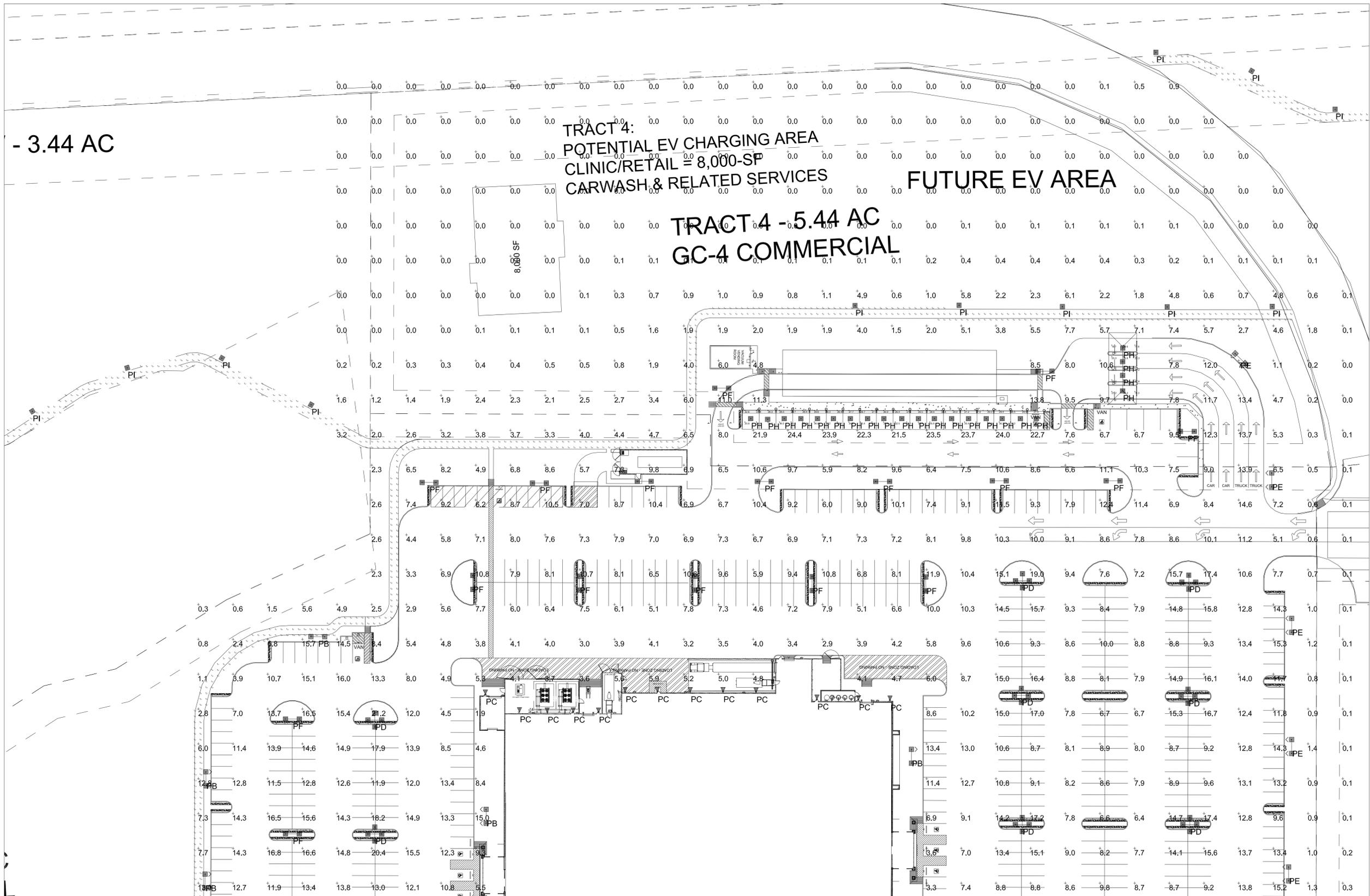
JOB NAME  
**BUC-EES  
EFLAND, NC**

DESIGNER: LLS      DATE: 9/20/20      SHEET 2 OF 7

SCALE: 1" = 40'      0      40

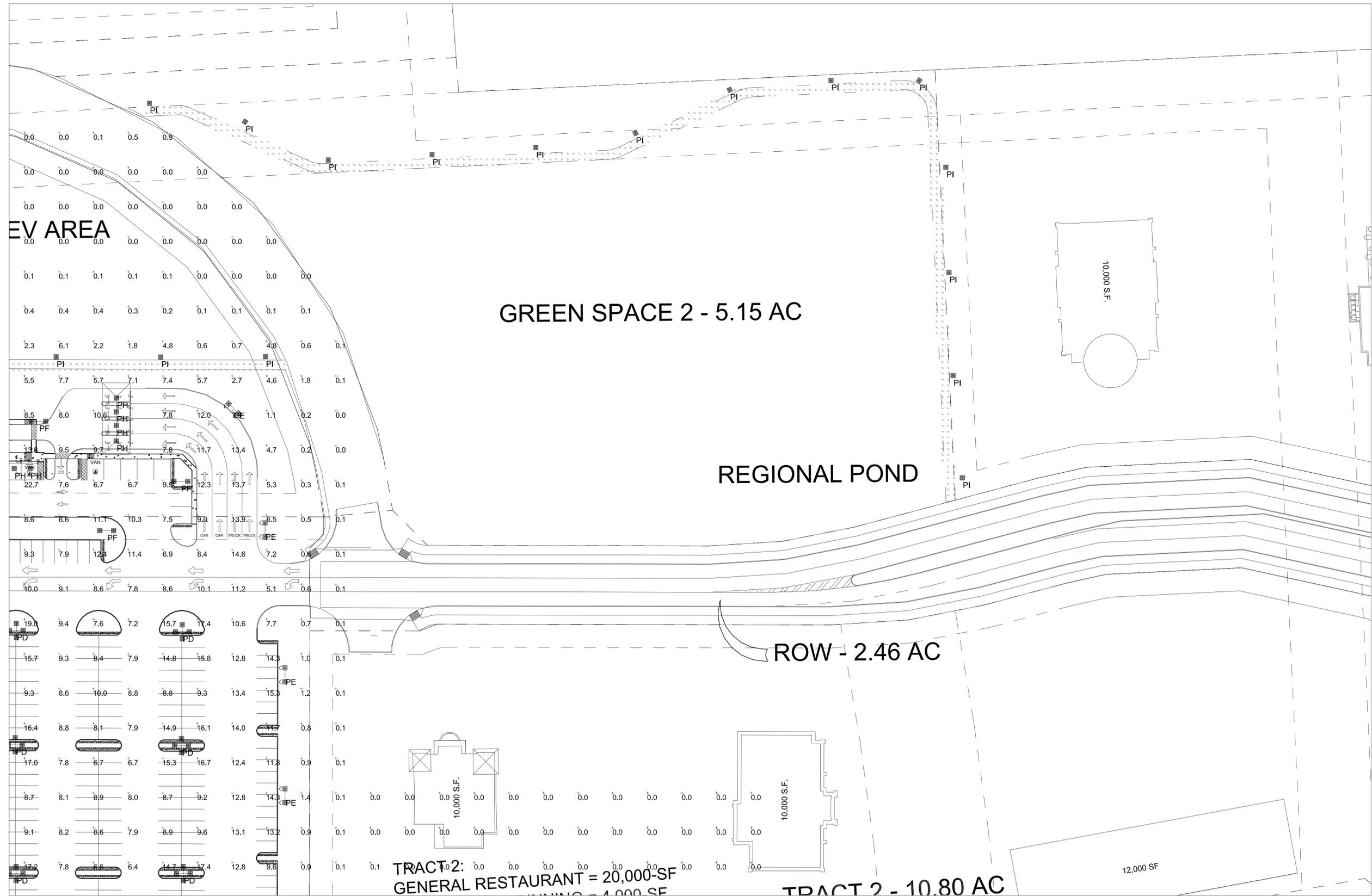
Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

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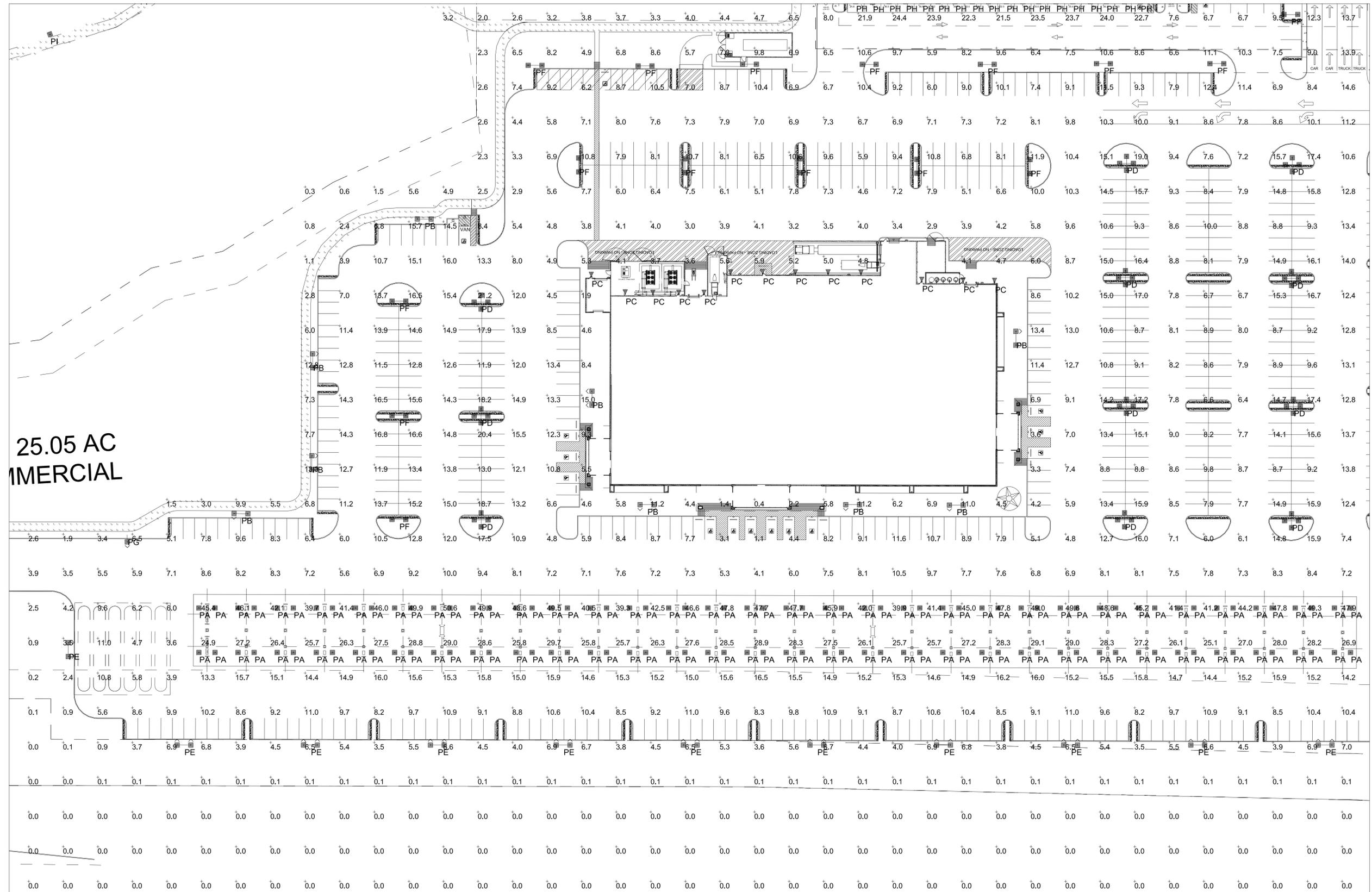
Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps, LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.



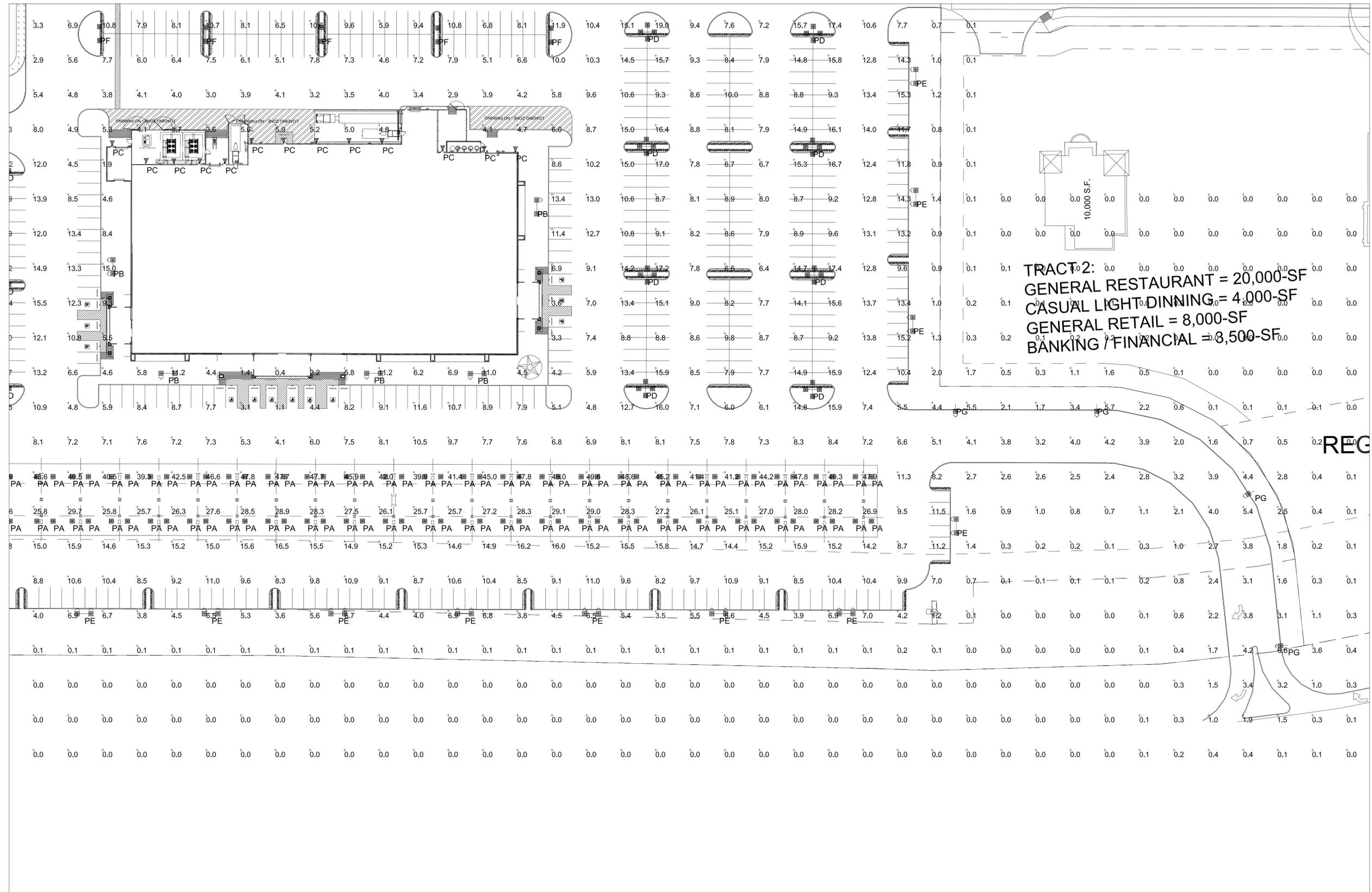
Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

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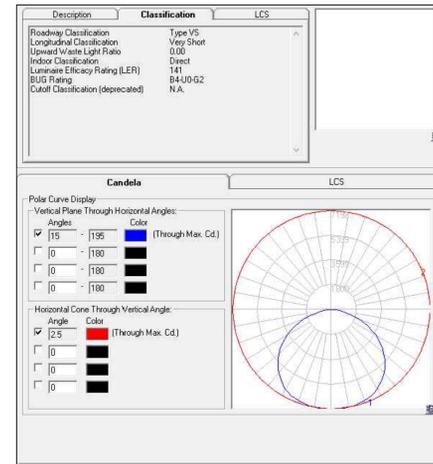
Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

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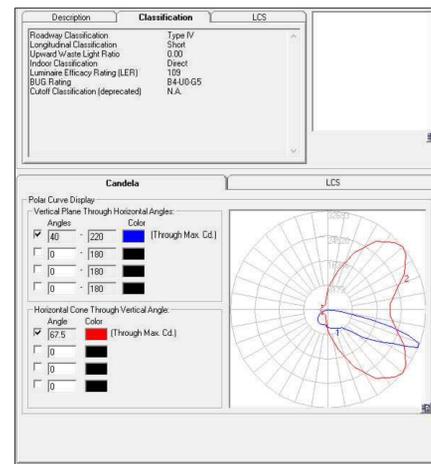


Symbol	Qty	Label	Arrangement	Description	LLF	Total Watts
	120	PA	SINGLE	CRUS-SC-LED-VHO-50 UE WHT - 15' MH	1.000	19092
	9	PB	D180° 2RTD	SLM-LED-42L-SIL-(1)-FT-L : (1) FT-R-50-70CRI-D180 ON 27' POLE + 2.5' BASE	1.000	7081.2
	13	PC	SINGLE	XPWS3-FT-LED-48-450-CW-UE - 10' MH	1.000	936
	11	PD	4 @ 90 DEGREES	SLM-LED-36L-SIL-5W-50-70CRI-QUAD ON 27' POLE + 2.5' BASE	1.000	13983.2
	17	PE	D180 RTD	SLM-LED-42L-SIL-(1)-FT-L : (1) FT-R-50-70CRI-IL-D180 ON 27' POLE + 2.5' BASE	1.000	13375.6
	18	PF	D180°	SLM-LED-36L-SIL-5W-50-70CRI-D180 ON 27' POLE + 2.5' BASE	1.000	11440.8
	10	PG	SINGLE	SLM-LED-42L-SIL-FT-50-70CRI-SINGLE ON 27' POLE + 2.5' BASE	1.000	3934
	22	PH	SINGLE	CRUS-SC-LED-SS-50 - 15' MH	1.000	2153.8
	58	PI	SINGLE	MPP-LED-10L-SIL-2-50-70CRI POST TOP - 16' MH	1.000	4234

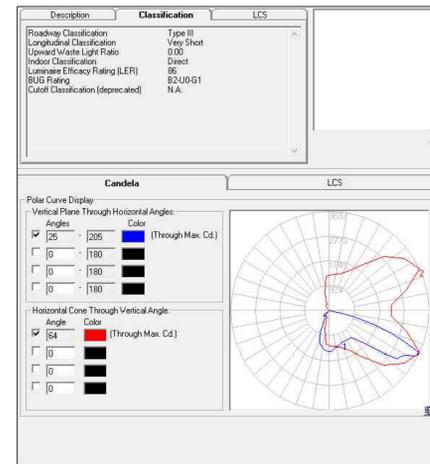
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PAY CANOPY SUMMARY	ILLUMINANCE	Fc	27.05	41.5	17.6	1.54	2.36
PEDESTRIAN PATH SUMMARY	ILLUMINANCE	Fc	3.76	7.9	1.0	3.76	7.90
PEDESTRIAN PATH SUMMARY 2	ILLUMINANCE	Fc	4.17	16.5	1.1	3.79	15.00
PEDESTRIAN PATH SUMMARY 3	ILLUMINANCE	Fc	3.31	5.7	1.0	3.31	5.70
VACUUM CANOPY	ILLUMINANCE	Fc	30.92	36.6	18.9	1.64	1.94
CANOPY SUMMARY	ILLUMINANCE	Fc	36.31	50.6	24.9	1.46	2.03
PARKING AND DRIVE SUMMARY	ILLUMINANCE	Fc	11.53	36.6	0.4	28.83	91.50



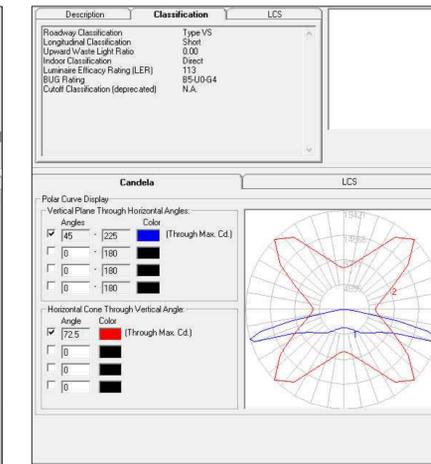
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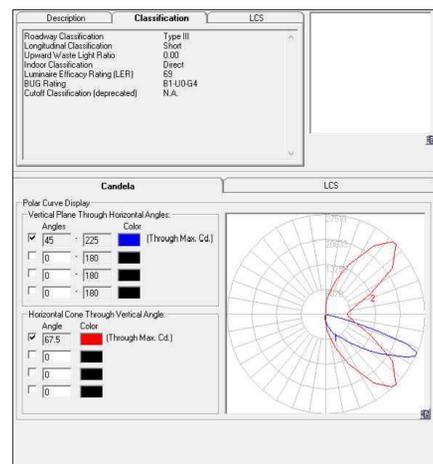
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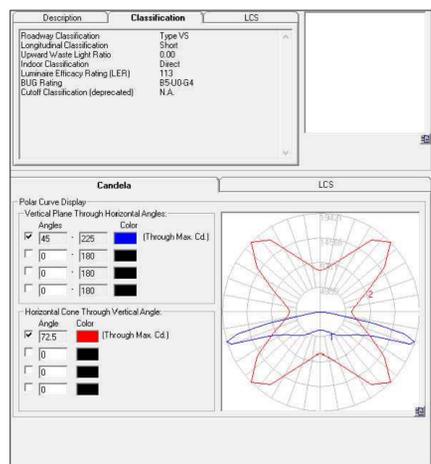
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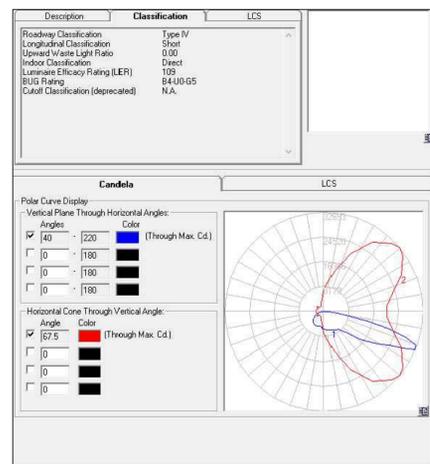
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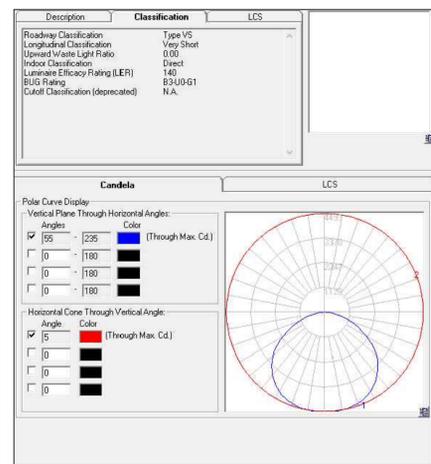
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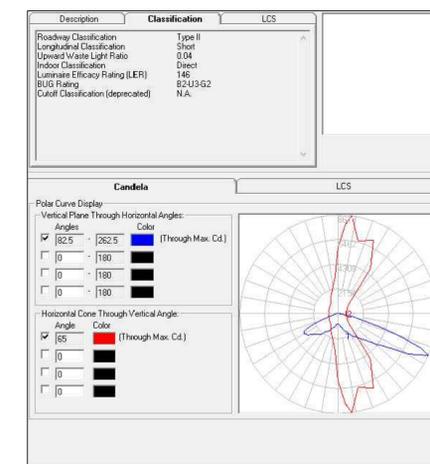
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TYPE PG



TYPE PH



TYPE PI

**poles** STEEL SQUARE STRAIGHT POLES

**Features & Specifications**

**Pole Size**

- Straight poles are 4", 5" or 6" square.
- Pole ends are machined to ASTM A500 Grade C steel tubing with a minimum yield strength of 50,000 psi.
- Two 3/8" diameter steel plates, spaced 18" O.C., high-strength pipe, 1/2" in 18" O.C. length.

**Head Bolt**

- Standard head bolt height is 12" above pole base.
- Pole 22' and above have 27" non-adjusted head bolt. Shorter poles have 27" 4" non-adjusted head bolt.

**Base**

- Pole base is ASTM A500 hot-rolled steel plate with a minimum yield strength of 50,000 psi.
- Two-piece square base cover is optional.

**Anchor Bolts**

- Poles are furnished with anchor bolts including pre-painted double nuts and washers. Embedded anchor bolts are standard.
- Anchor bolt options to ASTM A307 specify Grade 55 with a minimum yield strength of 50,000 psi.

**Ground Lug**

- Grounding is standard.

**Optical Neoprene**

- Weatherproof optical neoprene is optional.

**Ground Fault Circuit Interrupter**

- Self-healing ground fault circuit interrupter is optional.

**Finishes**

- Poles are provided with the **Weather Protection System** of a 5-year limited warranty.
- Each finish is measured to a color appearance tolerance that specifies an industry standard standard. Starts with white, gray, red, black, or yellow on the exterior surface and optional. Starts with standard interior to provide contrast.
- After connecting poles are cut and heat treated and inspected visually for defects, with each component through the entire process, including a non-white surface. This process removes all dirt and scale and strengthens the metal by the application of a proprietary medium stress that helps prevent cracking and adds the life of the pole.
- After final painting, a powder coat is applied followed by the application of a protective treatment that improves powder coat adhesion and provides long-term protection of the metal against corrosion.
- Each pole is coated through the entire application of a powder coat and is tested for standard LD tests or the color approved by the customer. It is finished in a factory setting during the pole's entire production process.
- Finally, the poles are tested to form, transportation, non-corrosive surface and exposed for shipment in a secure frame to protect the finish during transit.

**When the pole is the Weather Protection System is applied in addition to the Weather Protection System, a non-corrosive, medium stress that helps prevent cracking and adds the life of the pole. After final painting, a powder coat is applied followed by the application of a protective treatment that improves powder coat adhesion and provides long-term protection of the metal against corrosion. It is finished in a factory setting during the pole's entire production process. Finally, the poles are tested to form, transportation, non-corrosive surface and exposed for shipment in a secure frame to protect the finish during transit.**

**Product Dimensions**

**poles** STEEL SQUARE STRAIGHT POLES

**Ordering Guide**

Ordering Information	SSO	BS	SD16	24	S	PLP	DGP
Ordering Information	SSO	BS	SD16	24	S	PLP	DGP

**Accessory Ordering Information**

Ordering Information	Item Number	Description	Order Number
Ordering Information	1000000	Weather System - 5 Year Pole and Base	1000000
Ordering Information	1000001	Weather System - 5 Year Pole and Base	1000001
Ordering Information	1000002	Weather System - 5 Year Pole and Base	1000002
Ordering Information	1000003	Weather System - 5 Year Pole and Base	1000003
Ordering Information	1000004	Weather System - 5 Year Pole and Base	1000004
Ordering Information	1000005	Weather System - 5 Year Pole and Base	1000005
Ordering Information	1000006	Weather System - 5 Year Pole and Base	1000006
Ordering Information	1000007	Weather System - 5 Year Pole and Base	1000007
Ordering Information	1000008	Weather System - 5 Year Pole and Base	1000008
Ordering Information	1000009	Weather System - 5 Year Pole and Base	1000009
Ordering Information	1000010	Weather System - 5 Year Pole and Base	1000010
Ordering Information	1000011	Weather System - 5 Year Pole and Base	1000011
Ordering Information	1000012	Weather System - 5 Year Pole and Base	1000012
Ordering Information	1000013	Weather System - 5 Year Pole and Base	1000013
Ordering Information	1000014	Weather System - 5 Year Pole and Base	1000014
Ordering Information	1000015	Weather System - 5 Year Pole and Base	1000015
Ordering Information	1000016	Weather System - 5 Year Pole and Base	1000016
Ordering Information	1000017	Weather System - 5 Year Pole and Base	1000017
Ordering Information	1000018	Weather System - 5 Year Pole and Base	1000018
Ordering Information	1000019	Weather System - 5 Year Pole and Base	1000019
Ordering Information	1000020	Weather System - 5 Year Pole and Base	1000020
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Ordering Information	1000096	Weather System - 5 Year Pole and Base	1000096
Ordering Information	1000097	Weather System - 5 Year Pole and Base	1000097
Ordering Information	1000098	Weather System - 5 Year Pole and Base	1000098
Ordering Information	1000099	Weather System - 5 Year Pole and Base	1000099
Ordering Information	1000100	Weather System - 5 Year Pole and Base	1000100

**poles** STEEL SQUARE STRAIGHT POLES

**Features & Specifications (Cont.)**

**Determining the Luminaire Pole Combination For Your Application:**

- Select luminaire from luminaire ordering information.
- Select bracket configuration to require.
- Determine pole size from luminaire/bracket chart.
- Select pole height.
- Select pole finish.
- Select pole top cap or secondary luminaire from table above.
- Consult luminaire for special wind load requirements and tower brackets.

**SHIPPING WEIGHTS - Steel Square Poles**

Ordering Information	Item Number	Description	Order Number
Ordering Information	1000000	Weather System - 5 Year Pole and Base	1000000
Ordering Information	1000001	Weather System - 5 Year Pole and Base	1000001
Ordering Information	1000002	Weather System - 5 Year Pole and Base	1000002
Ordering Information	1000003	Weather System - 5 Year Pole and Base	1000003
Ordering Information	1000004	Weather System - 5 Year Pole and Base	1000004
Ordering Information	1000005	Weather System - 5 Year Pole and Base	1000005
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Ordering Information	1000030	Weather System - 5 Year Pole and Base	1000030
Ordering Information	1000031	Weather System - 5 Year Pole and Base	1000031
Ordering Information	1000		

**EXHIBIT F - ENVIRONMENTAL  
ASSESSMENT CHECKLIST AND  
SUPPORTING DOCUMENTATION**



**ORANGE COUNTY PLANNING**

**ENVIRONMENTAL ASSESSMENT**

*An Environmental Assessment (EA) shall be required for each individual parcel proposed for development consistent with applicable criteria as detailed within the Unified Development Ordinance (UDO)*

**SUBJECT PARCEL:**

Address: N/A, Undeveloped Tracts of Land

Parcel Identification Number (PIN): 9854161576 (Parcel #1), 985463711

(Parcel #2), 9854051970 (Parcel #3)

Acreage: 127.5 acres

Township: Cheeks (3)

Zoning:

Zoning District: O/RM (Parcels #1, #2, and #3)

Watershed Overlay: Upper Eno Protected, Upper Eno Critical

Other Overlay: Major Transportation Corridor (MTC)

**Owner Information:**

**Parcel: 9854161576 (Parcel #1)**

Name: SL Efland Heirs, LLC

Home Phone: \_\_\_\_\_

Address: 4890 SW Natchez ST

Cell Phone: \_\_\_\_\_

Tualatin, Oregon 97062

E-mail: \_\_\_\_\_

**Parcel: 985463711 (Parcel #2)**

Name: Chad Lloyd Land Investment Company, LLC

Home Phone: \_\_\_\_\_

Address: 2701 US 70 W

Cell Phone: \_\_\_\_\_

Efland, NC 27243

E-mail: \_\_\_\_\_

**Parcel: 9854051970 (Parcel #3)**

Name: Department of Transportation Home Phone: \_\_\_\_\_  
Address: P.O. Box 15580 Cell Phone: \_\_\_\_\_  
Durham, NC 27704 E-mail: \_\_\_\_\_

**Applicant Information:** ( same as owner)

Name: Kelsey Westwood Hall, PE, Kimley-Horn Work Phone: (919) 237-9483  
Address: 421 Fayetteville Street, Suite 600 Cell Phone: (540) 383-8143  
Raleigh, NC 27601 E-mail: Kelsey.Westwood@kimley-horn.com

**Official Use Only:**

Date Application Filed: \_\_\_\_\_ Fee Collected: \_\_\_\_\_  
Accepted by: \_\_\_\_\_ Permit Case Number: \_\_\_\_\_  
Zoning: \_\_\_\_\_ Watershed: \_\_\_\_\_ Overlay: \_\_\_\_\_

**I. GENERAL SITE INFORMATION**

**A. Adjacent property:**

**Zoning: 9854161576 (Parcel #1)**

North: R1, AR, O/RM South: O/RM  
East: O/RM West: R1, NC2

**Land Use: 9854161576 (Parcel #1)**

North: Single-Family, Undeveloped South: Interstate 40  
East: Farmland, Undeveloped West: Single-Family, Commercial

**Zoning: 985463711 (Parcel #2)**

North: AR South: AR  
East: AR West: O/RM, AR

**Land Use: 985463711 (Parcel #2)**

North: Interstate 40

South: Interstate 40

East: Farmland, Undeveloped

West: Farmland, Undeveloped

**Zoning: 9854051970 (Parcel #3)**

North: O/RM

South: O/RM, AR

East: AR

West: R1, NC2

**Land Use: 9854051970 (Parcel #3)**

North: Farmland, Undeveloped

South: Interstate 40

East: Farmland, Undeveloped

West: Single-Family, Commercial

**B. Topography**

Highest Elevation: 670 feet above mean sea level

Lowest Elevation: 625 feet above mean sea level

General direction of slope: Southwest and South

Estimated % of property with

0 – 5% slope: 47.91%

5 – 15% slope: 50.26%

15 – 25% slope: 0.83%

More than 25% slope: 1.00%

**C. Water Features / Drainage:**

The following water features are located on the property:

Streams

Drainage Easements

Wetlands

Special Food Hazard Area

Ponds

Describe: Kimley-Horn staff conducted site visits in June 2020 to investigate the natural resources present within the Site. Three streams, six wetlands, and four ponds were identified in or within 50' of the Site. Figure 3, included with this package, displays the findings of this delineation. A Jurisdictional Determination Request is in the process of being submitted to the US Army Corps of Engineers (USACE) in order to verify the features identified on this Site. The total lengths and areas of these hydrologic features within the Site are as follows:

- Streams: 833 LF
- Wetlands: 1.86 ac.
- Ponds: 0.69 ac.

**(Attach additional sheets if needed)**

**D. Does the property contain any of the following Inventory of Natural or Cultural Resources?** (As identified in the “Inventory of Sites of Cultural, Historical, Recreational, Biological, and Geological Significance in the Unincorporated Portions of Orange County” or the “Inventory of Natural Areas and Wildlife Habitats of Orange County, North Carolina”.)

	<u>Yes</u>	<u>No</u>
1. Cemeteries	_____	X
2. Archaeological sites	_____	X
3. Historic sites	_____	X
4. Areas of geological significance	_____	X
5. Designated natural areas	_____	X
6. Designated habitats	_____	X

For each “yes” answer above, please indicate the location on site plan and complete Attachment A.

**II. PROJECT DESCRIPTION**

A. Describe proposed use of property:

The project proposes to construct a Buc-ee's gas station and convenience store with associated parking and infrastructure within an undeveloped/farmland property located between Mt. Willing Road and the I-85/US-70 Connector. The project will include new driveways to Mt. Willing Road, the I-40/I-85 Ramp, and the I-85/US-70 Connector.

B. Number of lots: 5 (including proposed outparcels)

C. Number of structures: 1

D. Estimated square footage of area to be graded for development of attached residential units (excluding roads, but including parking areas) N/A

E. Estimated square footage of area to be graded for non-residential use (excluding roads)

Building Graded Area: 306,281SF

Parking Graded Area: 1,119,610SF

F. Estimated area to be graded for roads: 433,512 SF

Road Type:          Public \_\_\_\_\_          Private   X  

Class A \_\_\_\_\_

Class B \_\_\_\_\_

Total road length   7,286LF  

**III. STATE PERMITS REQUIRED**

1. **Does the project involve the mining of earth products?** No

If so, how many cubic feet of material are expected to be excavated?

N/A

Has an application for a Mining Permit been submitted to NCDRC?

N/A

Please attach map indicating expected extent of proposed activity.

**2. Does the project involve generation or storage of hazardous or toxic wastes, as identified by the Environmental Protection Agency? No**

Describe the wastes to be generated. N/A

\_\_\_\_\_  
\_\_\_\_\_

How much material is expected to be generated per month?

N/A

Will any material be treated onsite? N/A

Volume? N/A

Will any material be stored onsite? N/A

Volume? N/A

Where will disposal of the material take place?

N/A  
\_\_\_\_\_  
\_\_\_\_\_

How will materials be transported to the disposal site?

N/A  
\_\_\_\_\_  
\_\_\_\_\_

What measures are proposed to protect water quality and air quality in case of spills?

N/A  
\_\_\_\_\_  
\_\_\_\_\_

3. **Will the project involve a land application system for treatment of wastewater?** No

If yes, describe N/A

Has an application for a non-discharge permit been submitted to the NC Department of Environmental Management or Orange County Department of Environmental Health? n/a

4. **Is a septic tank system proposed which as a design capacity of more than 3000 gallons per day?** No

If yes, describe N/A

Has an application for a non-discharge permit been submitted to the NC Department of Environmental Management or Orange County Department of Environmental Health?

5. **Does the activity involve sludge disposal?** No

If yes, where is the source of the sludge? N/A

Describe where and how the sludge is being disposed.

N/A

Has a NPDES permit from the NC Division of Environmental Management been issued? N/A

6. **Water Usage**

*[Note – employee numbers are unknown at this point but will be provided to Orange County once determined. Projected land use will not utilize any production or process water as no production will occur on the parcels.]*

- a. Estimated no. of employees \_\_\_\_ x 25 gpd = \_\_\_\_ gpd  
b. Estimated water use for climate control = \_\_\_\_ gpd  
c. Process water

\_\_\_\_\_ % consumed  
 \_\_\_\_\_ % discharged to septic system  
 \_\_\_\_\_ % discharged to surface (including storm  
 sewers) (describe: \_\_\_\_\_)  
 \_\_\_\_\_ % evaporated  
 \_\_\_\_\_ % reclaimed/reused  
 \_\_\_\_\_ % other  
 100%

d. Water used for cooling, heating, etc., in association with production or manufacturing

\_\_\_\_\_ % reused  
 \_\_\_\_\_ % consumed  
 \_\_\_\_\_ % discharged  
 (describe: \_\_\_\_\_)  
 100%

\_\_\_\_\_ gpd  
 Total Water Usage

e. Describe source of water

Water will be provided to the development by a water extension/connection from existing Orange-Alamance Water Systems utilities.

**ATTACHEMENT A**  
**TO BE COMPLETED ONLY IF INVENTORY SITES ARE IDENTIFIED IN I.E.**

(ATTACH ADDITIONAL SHEETS IF NECESSARY)

(1) a. Impact on Resource from Proposed Development

- Based on preliminary designs, minor impacts will result from the proposed development due to road crossings, utility easements, and vegetative plantings. The preliminary road crossings have been aligned as perpendicular crossings to minimize impacts to jurisdictional features and buffers to the extent possible. It is assumed that the powerline easement will be considered as a temporary impact to wetlands and streams and permanent impacts not requiring mitigation within the buffer. Additionally, vegetative buffer plantings will be required along Mt Willing Road within both wetlands and riparian buffers and are assumed to be considered temporary impacts. As the project moves to final design, impacts will be reduced further and avoided as possible. A preliminary impacts map is included with this submittal in the plan set (Sheet C3.1). Based on the preliminary design, proposed impacts to streams, wetlands, and riparian buffers are as follows:

Jurisdictional Streams: 114 linear feet (LF)

Wetlands: 0.17 acres

Ponds: 0.06 acres

Neuse Buffer Zone 1: 9,676 square feet (SF)

Neuse Buffer Zone 2: 7,644 square feet (SF)

OC Buffer Zone 3: 33,222 square feet (SF)

b. Proposed Mitigation

Compensatory mitigation for stream and wetland impacts is not anticipated to be required by the US Army Corps of Engineers or the NC Division of Water Resources due to the minimal permanent impacts resulting from the project.

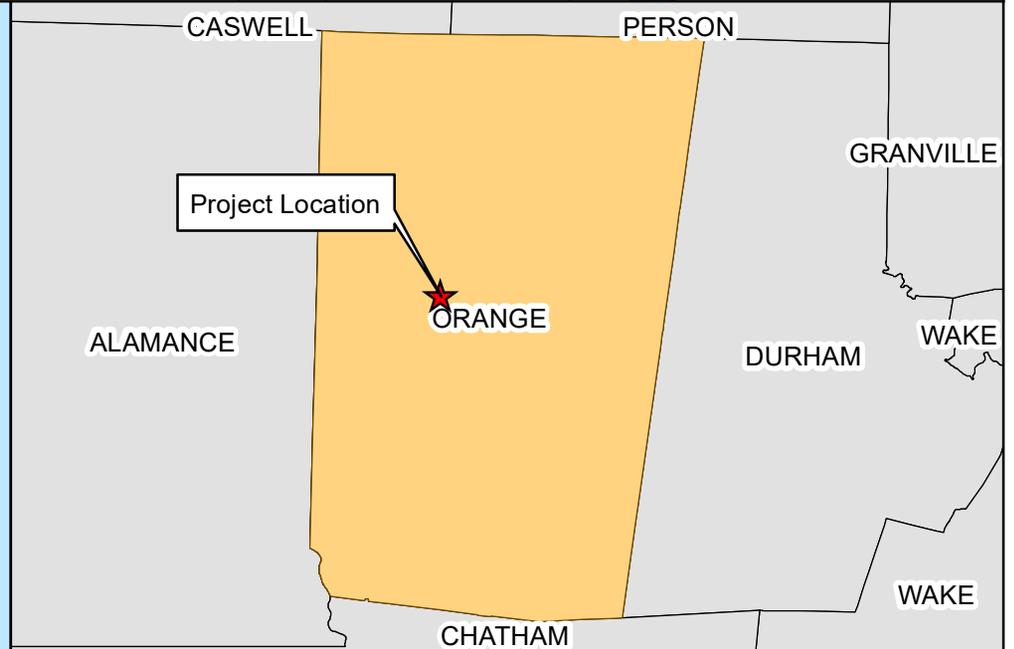
Impacts requiring compensatory mitigation to the Neuse and Orange County buffer zones will be calculated once final design has been completed and mitigation will be purchased as necessary from third party mitigation banks and/or the NC Division of Mitigation Services In-Lieu Fee program.

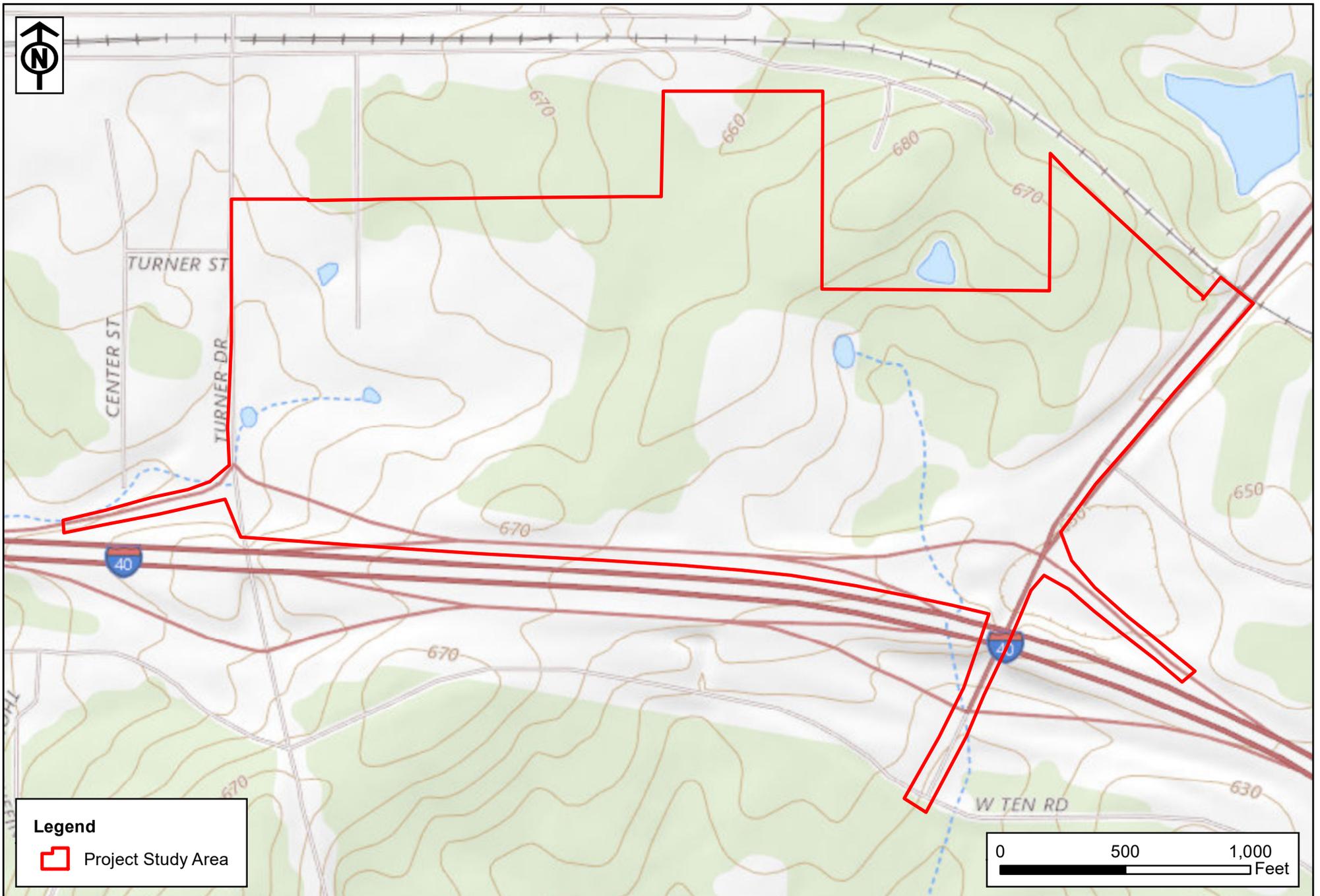
**STATEMENT BY APPLICANT:**

I certify that the information presented by me in this application is accurate to the best of my knowledge, information, and belief.

Signature of applicant: 

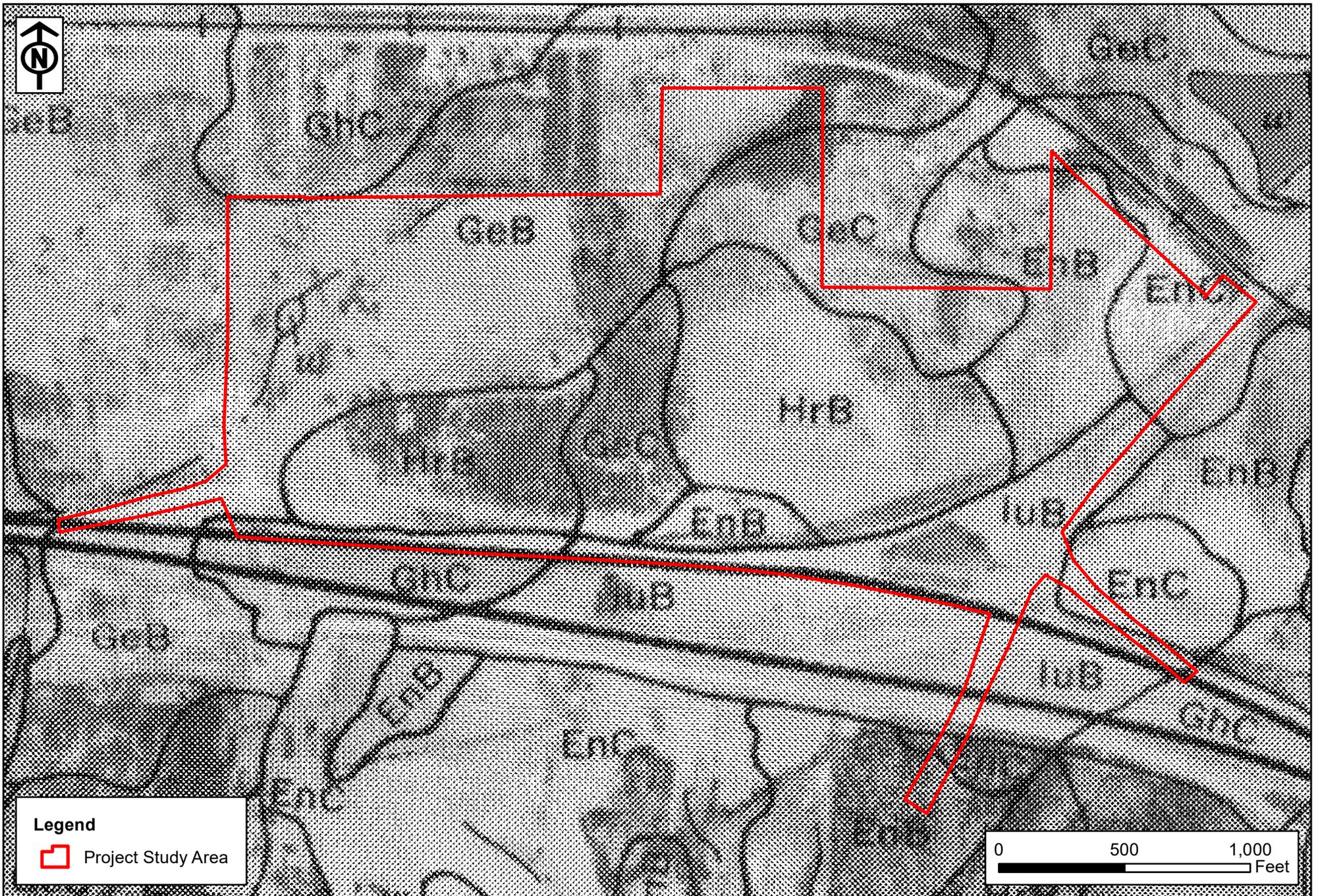
Date: August 7, 2020



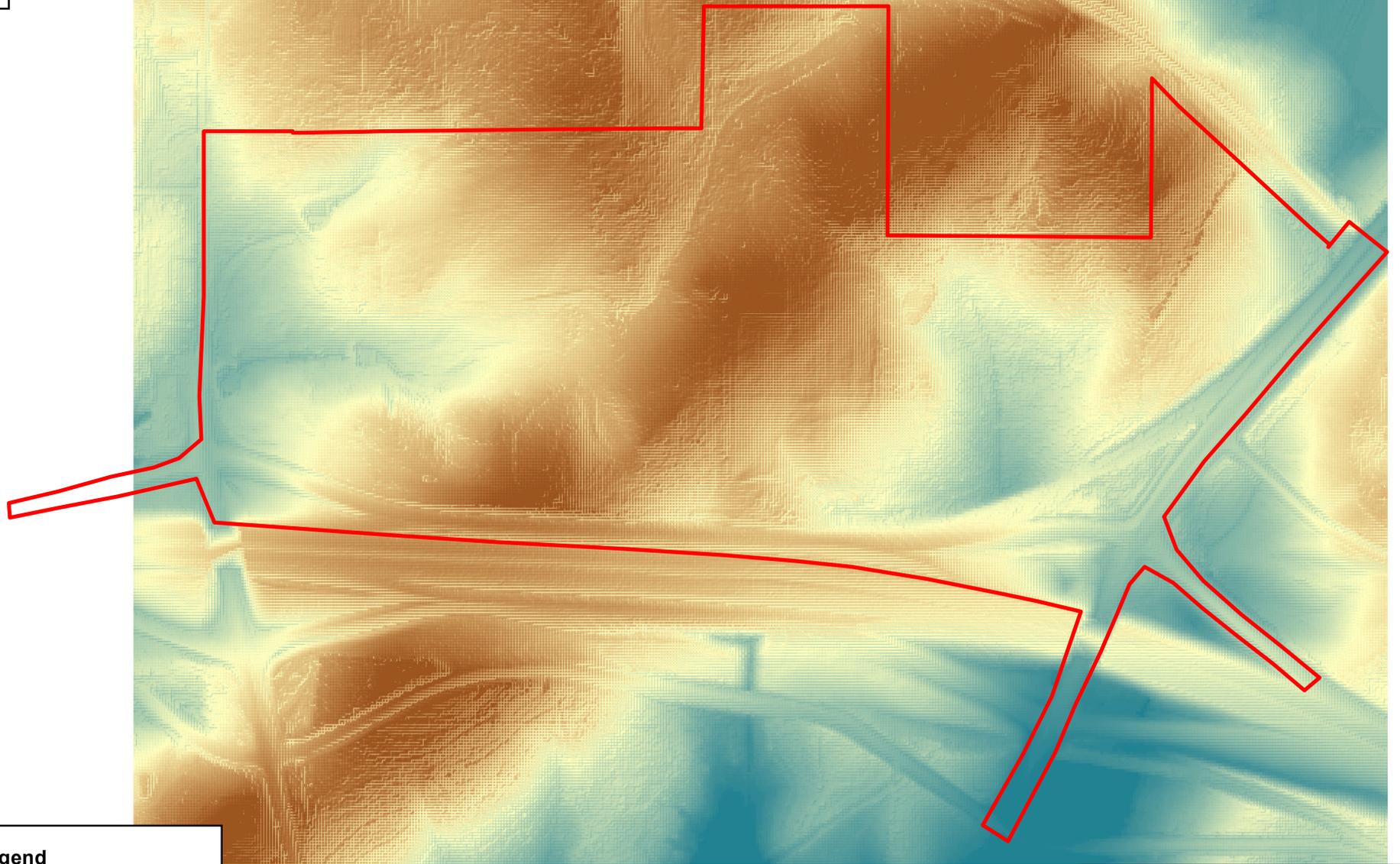


**Figure 2: USGS Topographic Map**  
Efland Site  
Efland, Orange County, NC  
July 2020



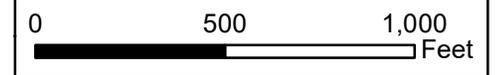


**Figure 4: NRCS Soil Survey Map**  
Efland Site  
Efland, Orange County, NC  
July 2020



**Legend**

 Project Study Area



**EXHIBIT G – TRAFFIC IMPACT ANALYSIS  
(SUBMITTED UNDER SEPARATE COVER)**

# EXHIBIT H - PRELIMINARY CONSTRUCTION SCHEDULE



**EXHIBIT I – BUC-EE’S ARCHITECTURAL  
ELEVATION RENDERINGS  
(DEVELOPMENT AREA 1)**

