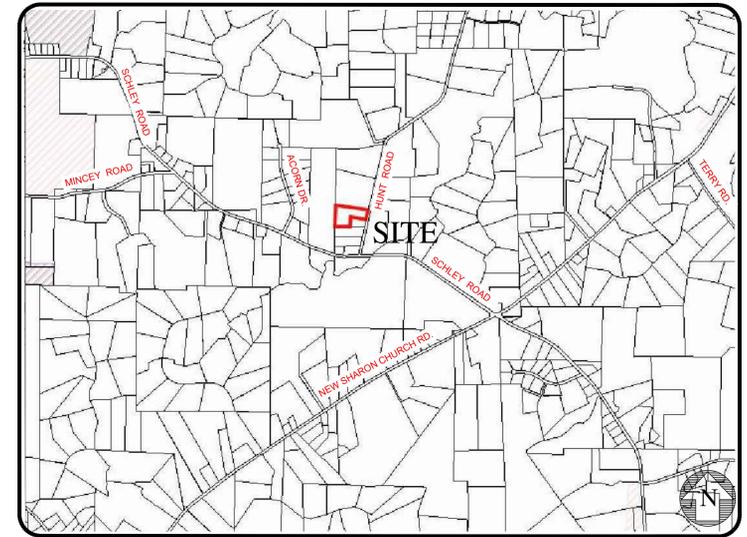


NON-RESIDENTIAL SITE PLAN ZONING COMPLIANCE PERMIT (ZCP) FOR CALDWELL FIRE STATION #2

PIN: 9897-10-9857
HUNT ROAD
ORANGE COUNTY, NORTH CAROLINA
CASE NUMBER: SPR20-0009
ORANGE COUNTY SUBMITTAL - DATE: 05/14/2020
1st REVIEW COMMENTS - DATE: 07/30/2020



SITE LOCATION MAP

SCALE: 1" = 2000'

PARCEL
PIN: 9897-10-9857
DB 154, PAGE 78
ZONING: AR
6.07 ACRES

CURRENT OWNER
CALDWELL FIRE DEPARTMENT
BRAD ALLISON
7020 GUESS ROAD
ROUGEMONT, NC 27572
(919) 451-9074 (PHONE)
@allison701@gmail.com

SURVEY CONTACT
SUMMIT DESIGN & ENGINEERING SERVICES
THOMAS TELLUP, PLS
300 EXECUTIVE COURT
HILLSBOROUGH, NC 27278
(919) 732-3883 (PHONE)
(919) 732-6676 (FAX)
THOMAS.TELLUP@SUMMITDE.NET

ENGINEER CONTACT
SUMMIT DESIGN & ENGINEERING SERVICES
TIMOTHY A. SMITH, PE
320 EXECUTIVE COURT
HILLSBOROUGH, NC 27278
(919) 732-3883 (PHONE)
(919) 732-6676 (FAX)
TIM.SMITH@SUMMITDE.NET

PUBLIC SERVICE CONTACTS :

- ELECTRIC - PIEDMONT ELECTRIC MEMBERSHIP CORPORATION (919) 732-2123
- GAS - PSNC ENERGY (877) 776-2427
- CABLE - TIME WARNER CABLE (919) 441-1877
- PHONE - AT&T (803) 929-1925
- RECYCLING - ORANGE COUNTY SOLID WASTE MANAGEMENT DEPARTMENT
PO BOX 7827
320 EXECUTIVE COURT
HILLSBOROUGH, NC 27278
(919) 732-2253
- PLANNING - ORANGE COUNTY PLANNING
MICHAEL HARVEY, AICP, CFM, CZO
CURRENT PLANNING SUPERVISOR
PATRICK MALLETT
PLANNER II
131 W. MARGARET LANE, SUITE 201
PO BOX 8151
HILLSBOROUGH, NC 27278
(919) 245-2597
- E&S/STORM - ORANGE COUNTY PLANNING
CHRIS SANDT, PE
131 W. MARGARET LANE, SUITE 201
PO BOX 8151
HILLSBOROUGH, NC 27278
(919) 245-2587

GENERAL NOTES:

1. CONSTRUCTION ON THIS PROJECT SHALL BE IN ACCORDANCE WITH ORANGE COUNTY AND NCDOT STANDARD DETAILS, CODE OF ORDINANCES AND STANDARD SPECIFICATIONS. ALL CONSTRUCTION SHALL MEET OR EXCEED THE REQUIREMENTS OF THE N.C. BUILDING, FIRE AND ACCESSIBILITY CODE.
2. ALL SITE WORK, AT A MINIMUM, SHALL BE PERFORMED IN ACCORDANCE WITH THE 2018 NCDOT ROADWAY STANDARD DRAWINGS AND STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES UNLESS OTHERWISE NOTED OR DIRECTED.
3. CONSTRUCTION ON THIS PROJECT SHALL BE IN ACCORDANCE WITH ALL APPLICABLE AND THE MOST CURRENT TOWN, COUNTY, STATE, NCDOT AND UTILITY PROVIDER STANDARDS, SPECIFICATIONS AND BUILDING CODES.
4. UNDERGROUND UTILITIES MAY EXIST ON, ALONG OR WITHIN CONFLICT OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING NC 811 OR THE APPROPRIATE UTILITY COMPANIES PRIOR TO ANY EXCAVATION.
5. THE CONTRACTOR SHALL OBSERVE ALL REQUIRED SAFETY PRECAUTIONS IN THE PERFORMANCE OF ALL WORK IN ACCORDANCE WITH OSHA.
6. THE CONTRACTOR SHALL GRADE, SEED AND SOD OR OTHERWISE PROVIDE TEMPORARY AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, ESPECIALLY SLOPES. SEE EROSION CONTROL INSTRUCTIONS, IF APPLICABLE.
7. WORK WITHIN PUBLIC RIGHT-OF-WAYS SHALL BE IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS, NOTIFICATIONS, STANDARDS AND POLICIES.
8. ANY SUBSTITUTIONS, CHANGES, OR MODIFICATIONS SHALL BE APPROVED BY THE PROJECT ENGINEER, PLANNING DEPARTMENT STAFF, AND DEVELOPER PRIOR TO INSTALLATION/CONSTRUCTION OF CORRESPONDING ITEMS.
9. THE GRADE LINES DENOTE THE FINISHED ELEVATIONS OF THE PROPOSED SURFACE. GRADE LINES MAY BE ADJUSTED AT THEIR BEGINNING, ENDING AND AT STRUCTURES AS DIRECTED BY THE ENGINEER IN ORDER TO PROVIDE A PROPER TIE-IN. CONTRACTOR SHALL FIELD VERIFY ALL PROPOSED INVERTS, FF'S & FINISHED SURFACES TO ENSURE THAT MINIMUM SLOPE & COVER REQUIREMENTS ARE PROVIDED PRIOR TO INSTALLATION OF REFERENCED ITEMS.
10. THE EARTHWORK ON THIS PLAN DOES NOT NECESSARILY BALANCE; OFFSITE BORROW OR WASTE MAY BE REQUIRED.
11. ALL PIPE INVERTS TO BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTING GRAVITY SYSTEMS AND SHALL BE ADJUSTED BY THE ENGINEER IF NECESSARY.
12. ALL CONCRETE PIPE SHALL BE REINFORCED CLASS II UNLESS NOTED OTHERWISE.
13. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS NECESSARY FOR CONSTRUCTION. THE CONTRACTOR SHALL READ ALL PERMITS AND ENSURE THAT CONSTRUCTION COMPLIES WITH THE PERMITS. REQUIRED PERMITS AND REVIEWS MAY INCLUDE, BUT ARE NOT LIMITED TO: CITY/COUNTY APPROVALS/PERMITS, CITY FIRE DEPARTMENT, CITY FIRE DEPARTMENT, SOLID WASTE REVIEWS, NCDOT PERMITS, DRIVEWAY PERMITS, RIGHT OF WAY ENCROACHMENT AGREEMENTS, SOIL AND EROSION CONTROL PERMITS, NCDENR PERMITS, WATER PERMITS, SEWER PERMITS, ENVIRONMENTAL PERMITS, WETLAND DISTURBANCE PERMITS, STREAM CROSSING PERMITS, POWER EASEMENT ENCROACHMENT AGREEMENTS, USACE/DWQ PERMITS, STORMWATER PERMITS, ZONING APPROVAL, AND BUILDING CODE APPROVALS/PERMITS. IF THE CONTRACTOR HAS QUESTIONS ABOUT PERMIT LANGUAGE, OR THE NEED FOR A PERMIT, HE MUST CONTACT THE DEVELOPER AND THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

ORANGE COUNTY SOLID WASTE NOTES:

1. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT SHALL HOLD A PRE-DEMOLITION / PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.
2. BY ORANGE COUNTY ORDINANCE: ALL CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.
3. BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF CONSTRUCTION WASTE MUST BE PROPERLY LICENSED.
4. ANY DUMPSTER AREA GATE DESIGN WILL INCLUDE GATE RETAINERS.
5. THE USER WILL BE RESPONSIBLE FOR OPENING GATES TO DUMPSTER AREA ON COLLECTION DAYS OF ANY MATERIALS TO BE COLLECTED FROM THIS LOCATION.
6. IF ANY VEHICLES ARE PARKED IN THE REFUSE OR RECYCLABLES COLLECTION VEHICLE ACCESS AREA, THE CONTAINERS WILL NOT RECEIVE SERVICE UNTIL THE NEXT SCHEDULED COLLECTION DAY.
7. ORANGE COUNTY WILL NOT BE RESPONSIBLE FOR ANY PAVEMENT DAMAGE THAT MAY RESULT FROM SERVICE VEHICLES.
8. ORANGE COUNTY SOLID WASTE MANAGEMENT WILL PICK UP RECYCLABLES FROM ROLL CARTS. WASTE MANAGEMENT, A PRIVATE VENDOR, SHALL BE CONTRACTED WITH OWNER TO PICK UP SOLID WASTE AND CARDBOARD. THIS WILL BE DONE VIA ROLL CARTS AS WELL.



CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

SHEET INDEX	
Sheet Title	Sheet Number
COVER SHEET	C-1
EXISTING CONDITIONS	C-2
SITE PLAN	C-3
UTILITY PLAN	C-4
GRADING & EROSION CONTROL PLAN	C-5
LANDSCAPE - BUFFER PLAN	L-1
SITE DETAILS	D-1
SITE DETAILS	D-2
ARCHITECTURAL BUILDING ELEVATIONS	A-1

SITE INFORMATION	
CURRENT OWNER:	CALDWELL FIRE DEPARTMENT c/o BRAD ALLISON 7020 GUESS ROAD ROUGEMONT, NC 27572 (919) 451-9074 (PHONE)
PIN:	9897-10-9857
LAND AREA:	6.07 ACRES
REFERENCE:	DB 6569, PG 84
PROPERTY ADDRESS:	HUNT ROAD HILLSBOROUGH, NC 27278
JURISDICTION:	ORANGE COUNTY
EXISTING USE:	VACANT
PROPOSED USE:	GOVERNMENT FACILITY - FIRE STATION
EXISTING ZONING:	AR
ADJACENT ZONING:	AR
RIVER BASIN:	NEUSE
WATERSHED:	LITTLE RIVER PROTECTED WATERSHED PROTECTION OVERLAY DISTRICT
SOILS:	GcB / GcC
BUILDING SETBACKS:	REQUIRED PROVIDE
FRONT:	40' 40.1'
SIDE:	20' 89.81' / 83.93'
REAR:	20' 647.4'
MAX. BUILDING HEIGHT:	25'
PROPOSED BUILDING HEIGHT:	22'
IMPERVIOUS SURFACES:	
PROPOSED BUILDING ROOF:	3,100 SF
PROPOSED GRAVEL PARKING:	1,634 SF
PROPOSED CONC. ENTRANCE DRIVE:	2,007 SF
PROPOSED ASPHALT & H/C PARKING:	1,207 SF
PROPOSED CONC. SW & PADS:	259 SF
PROPOSED RETAINING WALL:	155 SF
TOTAL NEW IMPERVIOUS:	8,362 SF
EXISTING IMPERVIOUS: (ENCROACHMENT)	1,015 SF (BLDG / DW)
TOTAL IMPERVIOUS:	9,377 SF (3.55%)
PARKING PROVIDED:	4 REGULAR (1 VAN ACCESSABLE SPACE) = 5
DISTURBED AREA	= 11,940 SF

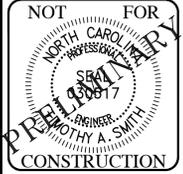
NO.	DATE	REVISIONS
7		
6		
5		
4		
3		
2		
1	7/30/2020	1st REVIEW COMMENTS

PROJECT ENGINEER/ARCHITECT
TAS (TIM.SMITH@SUMMITDE.NET)

PROJECT MANAGER
RPH (RANDY.HALL@SUMMITDE.NET)

DRAWN BY
DMC (DONALD.CHITTY@SUMMITDE.NET)

FIRST ISSUE DATE
05-14-2020



SUMMIT
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www.summitde.net

NON-RESIDENTIAL SITE PLAN ZCP FOR
CALDWELL FIRE STATION #2
HUNT ROAD
ORANGE COUNTY, NORTH CAROLINA - PIN: 9897-10-9857

COVER SHEET

PROJECT NO:
20-0020

DRAWING NAME:
20-0020_CS.dwg

SHEET NO:
C-1

STATE OF NORTH CAROLINA
COUNTY OF ORANGE
I, Elizabeth Cecil, Surveyor, do hereby certify that the division of property shown and described herein is correct and true to the best of my knowledge and belief, and that the same is in accordance with the laws of the State of North Carolina.

I, David M. Ray, certify that this plan was drawn by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of North Carolina, License No. 118-2020.

DATE OF FIELDWORK: 11/20/2018
DATE OF CALCULATION: 11/20/2018

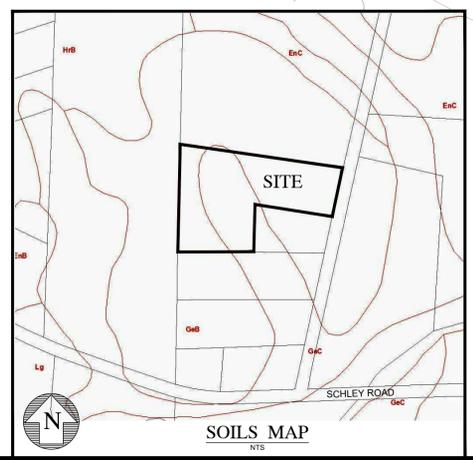
DAVID M. RAY, P.E.
LITTLE RIVER TWP., ORANGE CO., NORTH CAROLINA
SCALE: 1"=60'
DATE: 11/20/2018

SUBDIVISION
D.B. 154 PG. 78

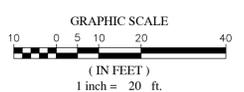
PROPERTY OF
RUBY D. BLACKWOOD
3878 HUNT RD HILLSBOROUGH, NC 27278

LEGEND
 * IRON PIN FOUND
 ○ IRON PIN SET
 △ MATH. POINT
 □ MONUMENT

NOTES:
 1. THIS SURVEY CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.
 2. THAT THE SURVEY IS LOCATED IN SUCH PORTION OF A COUNTY OR MUNICIPALITY THAT IS UNINCORPORATED AS AN OFFICIAL THAT REGULATES PARCELS OF LAND.
 3. THAT THE SURVEY IS OF AN EXISTING PARCEL, OR PARCELS OF LAND.
 4. THAT THE SURVEY IS OF ANOTHER COURSE, SUCH AS THE RECONSTRUCTION OF FADING PARCELS, A COURT-ORDERED SURVEY, OR OTHER EXCEPTIONS TO THE DEFINITION OF SUBDIVISION.
 NO MONUMENT FOUND WITHIN 2000' OF THIS SITE.
 DWG(SURV)WORK\Hunt Rd 2018.dwg



- NOTES:**
- BOUNDARY INFORMATION TAKEN FROM PLAT PREPARED BY: DAVID M. RAY, PLS L-4906 DATED: 11/26/2018 AND RECORDED IN THE ORANGE COUNTY REGISTRY, P.B. 119, PG. 179
 - TOPOGRAPHY TAKEN FROM NC LIDAR.
 - THIS PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE AS PER PANEL NO. 9897, DATED 11/17/2017.
 - NO WETLANDS ARE BELIEVED TO BE PRESENT WITHIN THIS SITE.
 - THIS SITE IS MADE UP BY A MIX OF HARDWOOD TREES, VARYING IN SIZE FROM 1" SAPLINGS TO 24" MATURE TREES, APPROXIMATELY 90% HARDWOODS AND 10% EVERGREEN CANOPY AND UNDERSTORY TREES RANGING IN SIZE FROM 1" TO 12" CALIPER DBH AND 6' TO 30' IN HEIGHT.



CASE NUMBER: SPR20-0009

811
Know what's below.
Call before you dig.

ADJOINER TO THE SOUTH
SUSAN TARRANT
13E-195
PIN: 9897200328
RESIDENCE
ZONED: AR

COMPANY
SUMMIT DESIGN AND ENGINEERING SERVICES
DRAWING ALLOCATION
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PROJECT ENGINEER/ARCHITECT
TAS (TASIT@SUMMITDE.NET)
PROJECT MANAGER
RPH (RANDY.HALL@SUMMITDE.NET)
DRAWN BY
DMC (DON.CHITTY@SUMMITDE.NET)
FIRST ISSUE DATE
05-14-2020

NOT FOR CONSTRUCTION
NORTH CAROLINA PROFESSIONAL SEAL
PREPARED BY: DAVID M. RAY, P.E.
DATE: 11/20/2018

SUMMIT DESIGN AND ENGINEERING SERVICES
320 Executive Court
Fallsborough, NC 27278
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www.summitde.net

NON-RESIDENTIAL SITE PLAN ZCP FOR CALDWELL FIRE STATION #2
HUNT ROAD
ORANGE COUNTY, NORTH CAROLINA - PIN: 9897109857
EXISTING CONDITIONS

PROJECT NO.
20-0020
DRAWING NAME:
20-0020_XC.dwg
SHEET NO.
C-2

NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
3			
2			
1	1st REVIEW COMMENT REVISIONS	7/30/2020	DMC

SITE INFORMATION

CURRENT OWNER: CALDWELL FIRE DEPARTMENT
 c/o BRAD ALLISON
 7020 GUESS ROAD
 ROUGE MOUNT, NC 27572
 (919) 451-9074 (PHONE)

PIN: 9897-10-9857

LAND AREA: 6.07 ACRES
 REFERENCE: DB 6589, PG 84

PROPERTY ADDRESS: HUNT ROAD
 HILLSBOROUGH, NC 27278

JURISDICTION: ORANGE COUNTY

EXISTING USE: VACANT

PROPOSED USE: GOVERNMENT FACILITY - FIRE STATION

EXISTING ZONING: AR

ADJACENT ZONING: AR

RIVER BASIN: NEUSE
 WATERSHED: LITTLE RIVER PROTECTED WATERSHED
 PROTECTION OVERLAY DISTRICT

SOILS: GcB / GcC

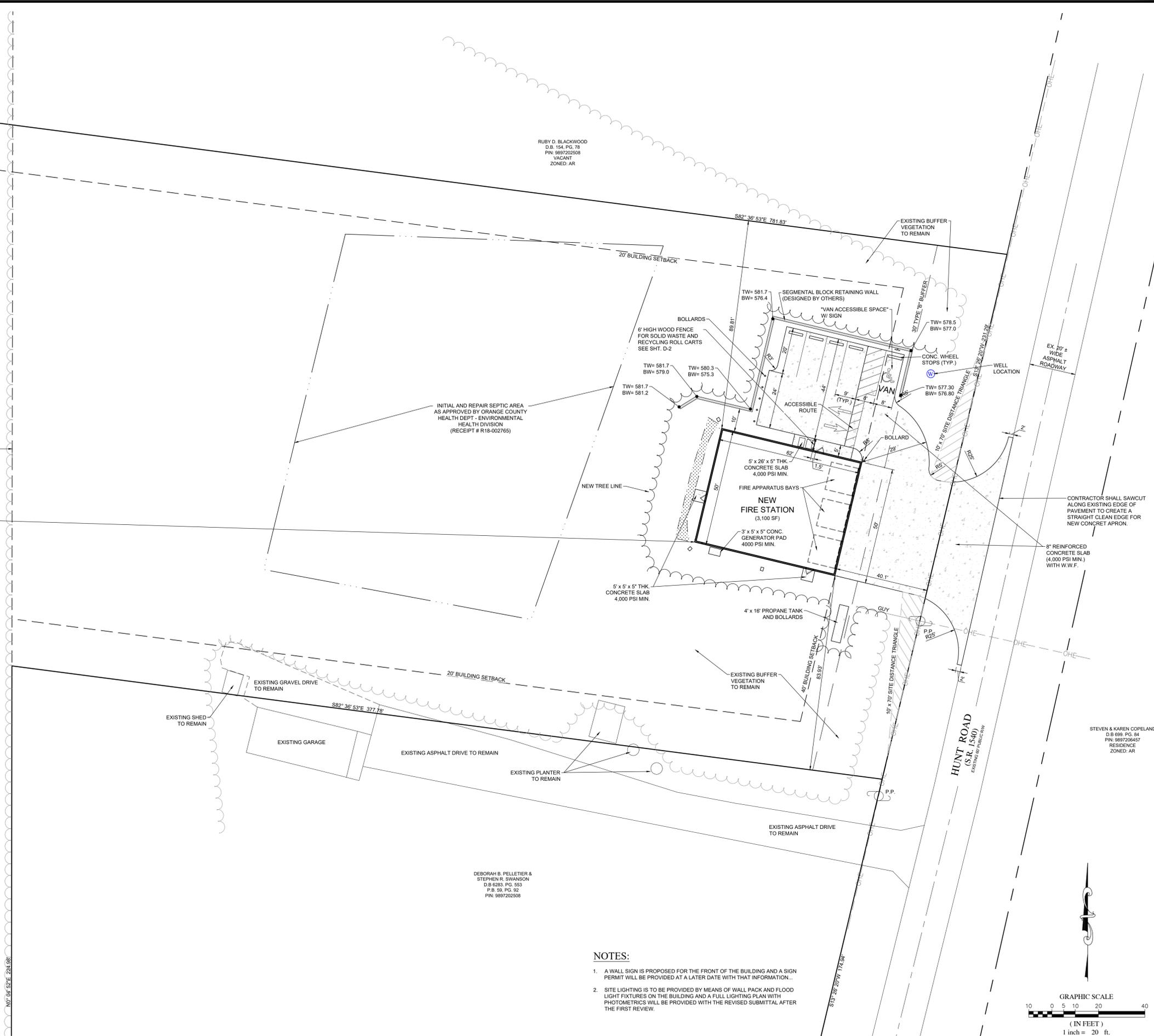
BUILDING SETBACKS:	REQUIRED	PROVIDE
FRONT:	40'	40.1'
SIDE:	20'	89.81' / 83.93'
REAR:	20'	647.4'

MAX. BUILDING HEIGHT: 25'
 PROPOSED BUILDING HEIGHT: 22'

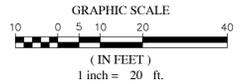
IMPERVIOUS SURFACES	
PROPOSED BUILDING ROOF:	3,100 SF
PROPOSED GRAVEL PARKING:	1,834 SF
PROPOSED CONC. ENTRANCE DRIVE:	2,001 SF
PROPOSED ASPHALT & H/C PARKING:	1,207 SF
PROPOSED CONC. SW & PADS:	259 SF
PROPOSED RETAINING WALL:	155 SF
TOTAL NEW IMPERVIOUS:	8,362 SF
EXISTING IMPERVIOUS: (ENCROACHMENT)	1,015 SF (BLDG / DW)
TOTAL IMPERVIOUS:	9,377 SF (3.55%)

PARKING PROVIDED: 4 REGULAR (1 VAN ACCESSIBLE SPACE) = 5

DISTURBED AREA = 11,940 SF



- NOTES:**
1. A WALL SIGN IS PROPOSED FOR THE FRONT OF THE BUILDING AND A SIGN PERMIT WILL BE PROVIDED AT A LATER DATE WITH THAT INFORMATION...
 2. SITE LIGHTING IS TO BE PROVIDED BY MEANS OF WALL PACK AND FLOOD LIGHT FIXTURES ON THE BUILDING AND A FULL LIGHTING PLAN WITH PHOTOMETRICS WILL BE PROVIDED WITH THE REVISED SUBMITTAL AFTER THE FIRST REVIEW.



CASE NUMBER: SPR20-0009

NO.	DATE	REVISIONS	BY
7			
6			
5			
4			
3			
2			
1	7/30/2020	1st REVIEW COMMENT REVISIONS	DMC

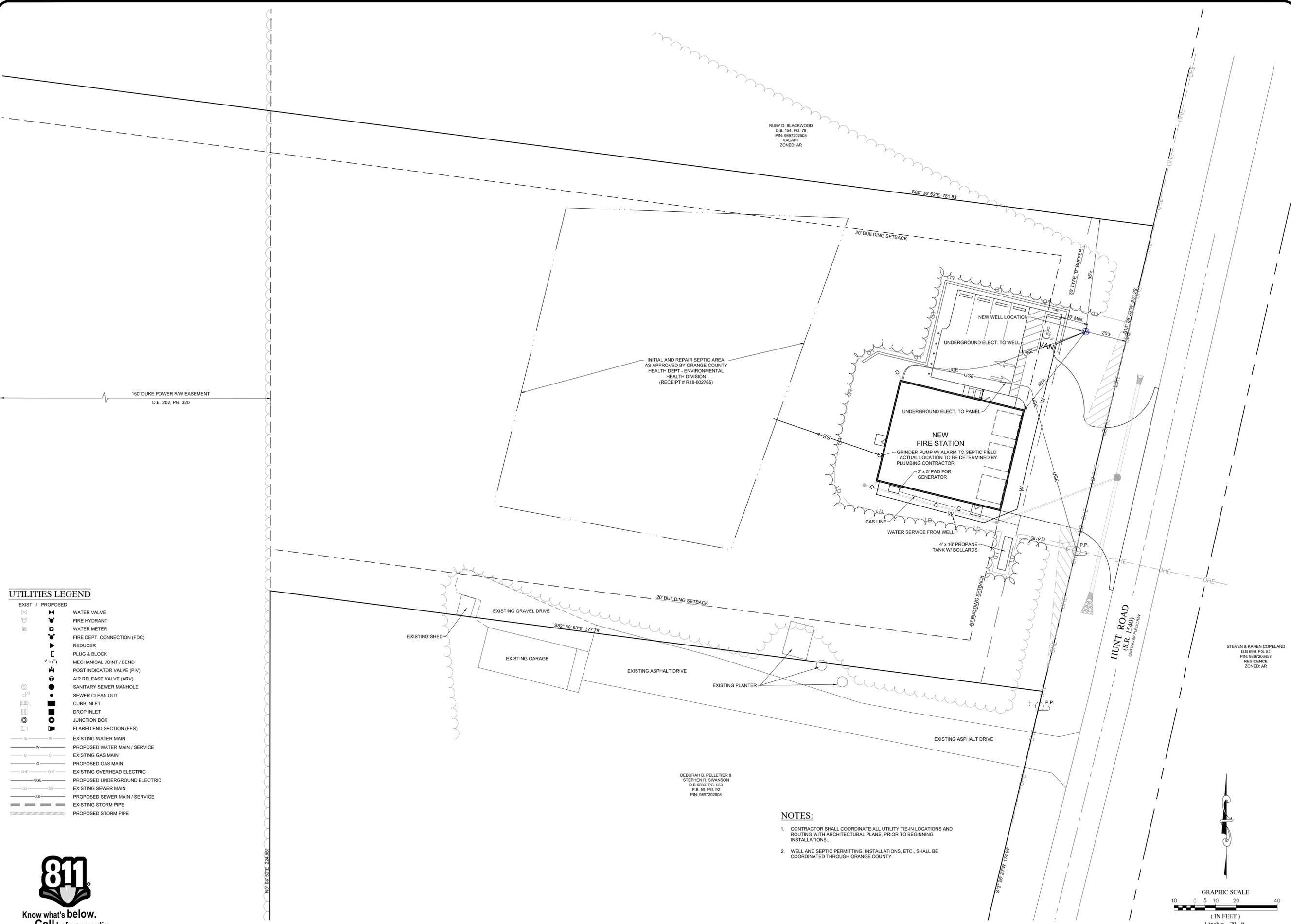
COMPANET 0 AND SUMMIT DESIGN AND ENGINEERING SERVICES
 PROJECT ENGINEER/ARCHITECT: TAS (TASIMT@SUMMITDE.NET)
 PROJECT MANAGER: RPH (RANDY.HALL@SUMMITDE.NET)
 DRAWN BY: DMC (DONLCHITTY@SUMMITDE.NET)
 FIRST ISSUE DATE: 05-14-2020

NOT FOR CONSTRUCTION
 NORTH CAROLINA PROFESSIONAL SEAL
 DEBORAH B. PELLETER & STEPHEN R. SWANSON
 STATE LICENSE # 10,039
 320 Executive Court
 Hillsborough, NC 27278
 Voice: (919) 732-3883 Fax: (919) 732-4676
 www.summitde.net

NON-RESIDENTIAL SITE PLAN ZCP FOR CALDWELL FIRE STATION #2
 HUNT ROAD
 ORANGE COUNTY, NORTH CAROLINA - PIN: 9897109857

SUMMIT
 DESIGN AND ENGINEERING SERVICES
 State License # 10,039
 320 Executive Court
 Hillsborough, NC 27278
 Voice: (919) 732-3883 Fax: (919) 732-4676
 www.summitde.net

PROJECT NO: 20-0020
 DRAWING NAME: 20-0020_S.dwg
 SHEET NO: C-3



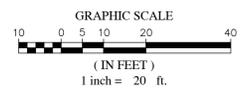
UTILITIES LEGEND

- | | |
|-------------------------------|-----------------|
| EXIST / PROPOSED | |
| WATER VALVE | ⊗ |
| FIRE HYDRANT | ⊕ |
| WATER METER | ⊙ |
| FIRE DEPT. CONNECTION (FDC) | ⊕ |
| REDUCER | ⊕ |
| PLUG & BLOCK | ⊕ |
| MECHANICAL JOINT / BEND | ⊕ |
| POST INDICATOR VALVE (PIV) | ⊕ |
| AIR RELEASE VALVE (ARV) | ⊕ |
| SANITARY SEWER MANHOLE | ⊕ |
| SEWER CLEAN OUT | ⊕ |
| CURB INLET | ⊕ |
| DROP INLET | ⊕ |
| JUNCTION BOX | ⊕ |
| FLARED END SECTION (FES) | ⊕ |
| EXISTING WATER MAIN | — W — |
| PROPOSED WATER MAIN / SERVICE | - - - W - - - |
| EXISTING GAS MAIN | — G — |
| PROPOSED GAS MAIN | - - - G - - - |
| EXISTING OVERHEAD ELECTRIC | — OHE — |
| PROPOSED UNDERGROUND ELECTRIC | - - - UGE - - - |
| EXISTING SEWER MAIN | — SS — |
| PROPOSED SEWER MAIN / SERVICE | - - - SS - - - |
| EXISTING STORM PIPE | — S — |
| PROPOSED STORM PIPE | - - - S - - - |



NOTES:

- CONTRACTOR SHALL COORDINATE ALL UTILITY TIE-IN LOCATIONS AND ROUTING WITH ARCHITECTURAL PLANS, PRIOR TO BEGINNING INSTALLATIONS.
- WELL AND SEPTIC PERMITTING, INSTALLATIONS, ETC., SHALL BE COORDINATED THROUGH ORANGE COUNTY.



CASE NUMBER: SPR20-0009

NO.	DATE	REVISIONS	BY
7			
6			
5			
4			
3			
2			
1	7/30/2020	1st REVIEW COMMENT REVISIONS	DMC

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PROJECT ENGINEER/ARCHITECT
 TMS (TMS@SUMMITDE.NET)
PROJECT MANAGER
 RPH (RANDY.HALL@SUMMITDE.NET)
DRAWN BY
 DMC (DONALD.CHITTY@SUMMITDE.NET)
FIRST ISSUE DATE
 05-14-2020



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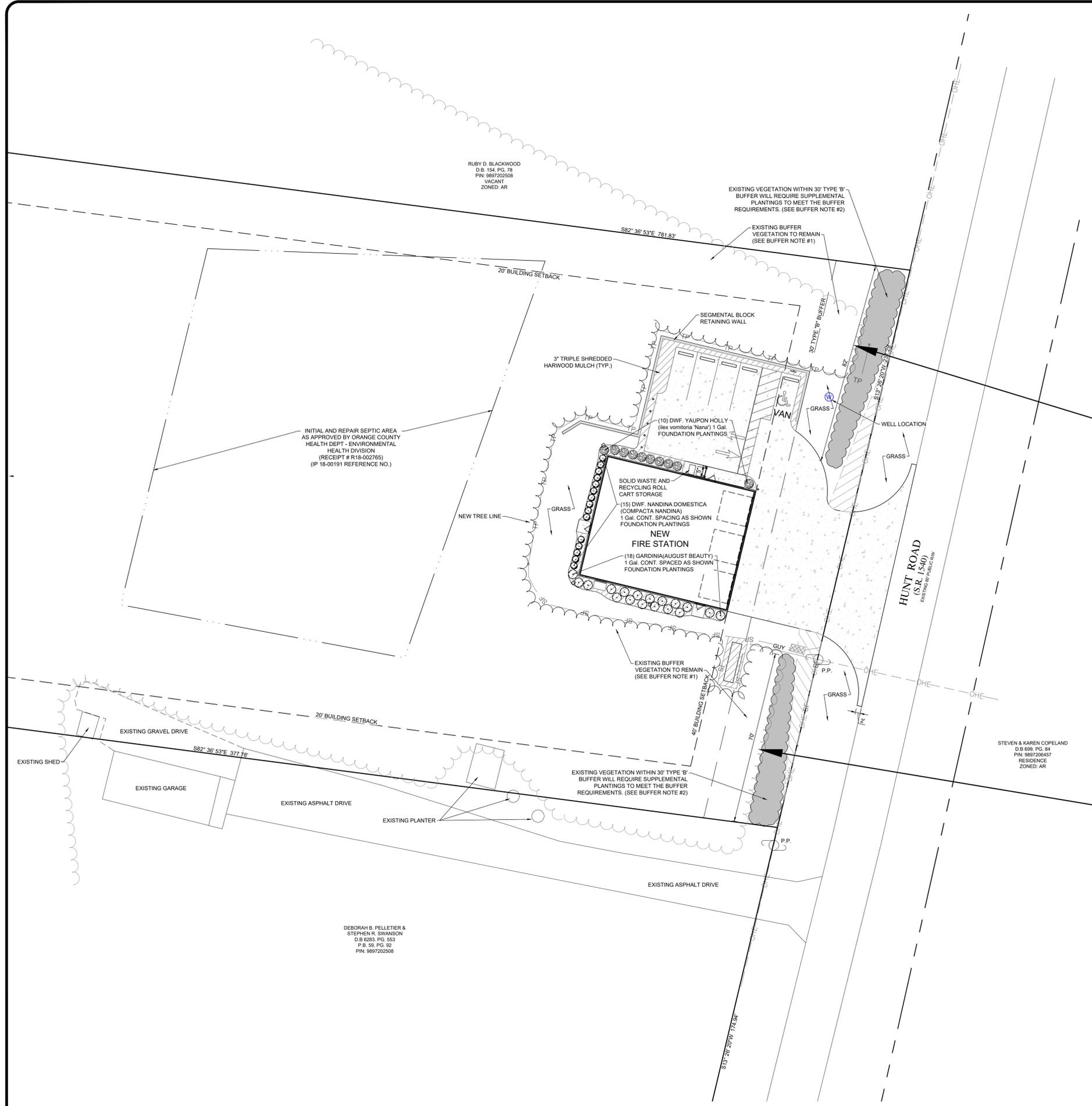
NON-RESIDENTIAL SITE PLAN ZCP FOR CALDWELL FIRE STATION #2
 HUNT ROAD
 ORANGE COUNTY, NORTH CAROLINA - PIN: 9897109857
UTILITY PLAN

PROJECT NO. 20-0020
 DRAWING NAME: 20-0020_S.dwg
 SHEET NO. C-4

DEBORAH B. PELLETHIER & STEPHEN R. SWANSON
 D.B. 6283, PG. 53
 P.B. 59, PG. 92
 PIN: 9897202508

STEVEN & KAREN COPELAND
 D.B. 699, PG. 84
 PIN: 9897296457
 RESIDENCE
 ZONED: AR

RUBY D. BLACKWOOD
 D.B. 154, PG. 78
 PIN: 9897202508
 VACANT
 ZONED: AR



TREE PROTECTION AND LANDSCAPE NOTES:

- a. EXISTING TREES, REGARDLESS OF SIZE, SHALL NOT BE CUT OR OTHERWISE DAMAGED OR DESTROYED WITHIN A PRIMARY TREE PROTECTION AREA EXCEPT AS SHOWN ON AN APPROVED LANDSCAPE AND TREE PRESERVATION PLAN, PLOT PLAN, OR SITE PLAN;
- b. EXISTING TREES HAVING A DIAMETER OF ONE FOOT OR GREATER DBH (DIAMETER BREST HEIGHT) SHALL NOT BE CUT, DAMAGED OR DESTROYED WITHIN A SECONDARY TREE PROTECTION AREA EXCEPT AS SHOWN ON AN APPROVED LANDSCAPE AND TREE PRESERVATION PLAN, PLOT PLAN, OR SITE PLAN;
- c. DURING CONSTRUCTION ACTIVITIES, ADEQUATE PROTECTIVE MEASURES SHALL BE PROVIDED TO MINIMIZE DAMAGE TO EXISTING TREES AND OTHER VEGETATION;
- d. ALL TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY GRADING, CONSTRUCTION TRAFFIC OR ACTIVITY TAKING PLACE ON SITE;
- e. LOGGING MATS SHALL BE USED IN AREAS WHERE CRITICAL ROOT ZONES MAY BE DISTURBED DURING CONSTRUCTION;
- f. SIGNS SHALL BE POSTED IDENTIFYING THE TREE PROTECTION AREAS AND SHALL STATE THE AREA IS NOT TO BE DISTURBED. SUCH PROTECTIVE DEVICES SHALL EFFECTIVELY PROTECT THE CRITICAL ROOT ZONES, TRUNKS, AND TOPS OF TREES TO BE RETAINED AND SHALL BE MAINTAINED UNTIL ALL WORK HAS BEEN COMPLETED;
- g. CONSTRUCTION TRAFFIC, STORAGE OF VEHICLES AND MATERIALS, SOIL COMPACTION, FILING, AND GRADING SHALL NOT TAKE PLACE WITHIN THE DRIP LINE OF TREES TO BE PRESERVED;
- h. CONSTRUCTION ACCESS TO A SITE SHOULD BE LOCATED WHERE AN EXISTING OR PROPOSED ENTRANCE/EXIT IS LOCATED;
- i. A STABILIZED OPEN AREA SHOULD BE DESIGNATED FOR STORAGE OF MATERIALS (INCLUDING STOCKPILING OF SOIL AND GRAVEL) AND FOR PARKING CONSTRUCTION VEHICLES AND EQUIPMENT;
- j. INSTALLATION OF REQUIRED LANDSCAPING SHALL ADHERE TO THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA);
- k. ALL PLANTINGS MUST BE MAINTAINED IN A HEALTHY STATE. SHOULD ANY VEGETATION THAT WAS REQUIRED TO MEET THE STANDARDS OF THIS SECTION DIE WITHIN TWO YEARS OF PLANTING, THE PLANTS MUST BE REPLACED WITH THE SAME OR COMPARABLE SPECIES.

BUFFER NOTES:

- 1. EXISTING VEGETATION TO BE PRESERVED IS PRIMARILY GUM, POPLAR, OAK AND OTHER DECIDUOUS TREES, RANGING IN HEIGHT FROM 40-85 FT. TALL AND 6" TO 12" DIA. SUPPLEMENTAL PLANTINGS WILL BE REQUIRED TO MEET THE BUFFER REQUIREMENTS.
- 2. BUFFER CALCULATIONS:
TOTAL LENGTH OF BUFFER EXCLUSIVE OF DRIVEWAY = 152 LF (70 LF SOUTH OF DRIVEWAY AND 82 LF NORTH OF DRIVEWAY)
PER UDO SECTION 6.8.6.F - OPTION 4 (OVERHEAD UTILITY) THE BUFFER IS TO BE PLANTED WITH 3 DECIDUOUS UNDERSTORY, 2 EVERGREEN UNDERSTORY AND 10 SHRUBS PER 100 LF OF BUFFER. FOR 152 LF OF BUFFER, THE RATES AS NOTED WILL BE ALL THAT IS REQUIRED. THESE PLANTINGS WILL BE SUPPLEMENTED TO THE AREAS AS SHOWN ON THIS PLAN WITH LOCATIONS TO BE SET IN THE FIELD.



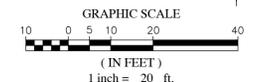
NORTHERN TYPE 'B' BUFFER



SOUTHERN TYPE 'B' BUFFER

100' x 30' SAMPLE AREA OF EXISTING TYPE 'B' BUFFER

- MIXED HARDWOODS UP TO 6" DIAMETER = 160 EACH
- MIXED HARDWOODS 6" TO 12" DIAMETER = 30 EACH
- MIXED HARDWOODS GREATER THAN 12" DIAMETER = 22 EACH



CASE NUMBER: SPR20-0009

NO.	REVISIONS	DATE	BY
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1	1st REVIEW COMMENT REVISIONS	7/30/2020	DMC

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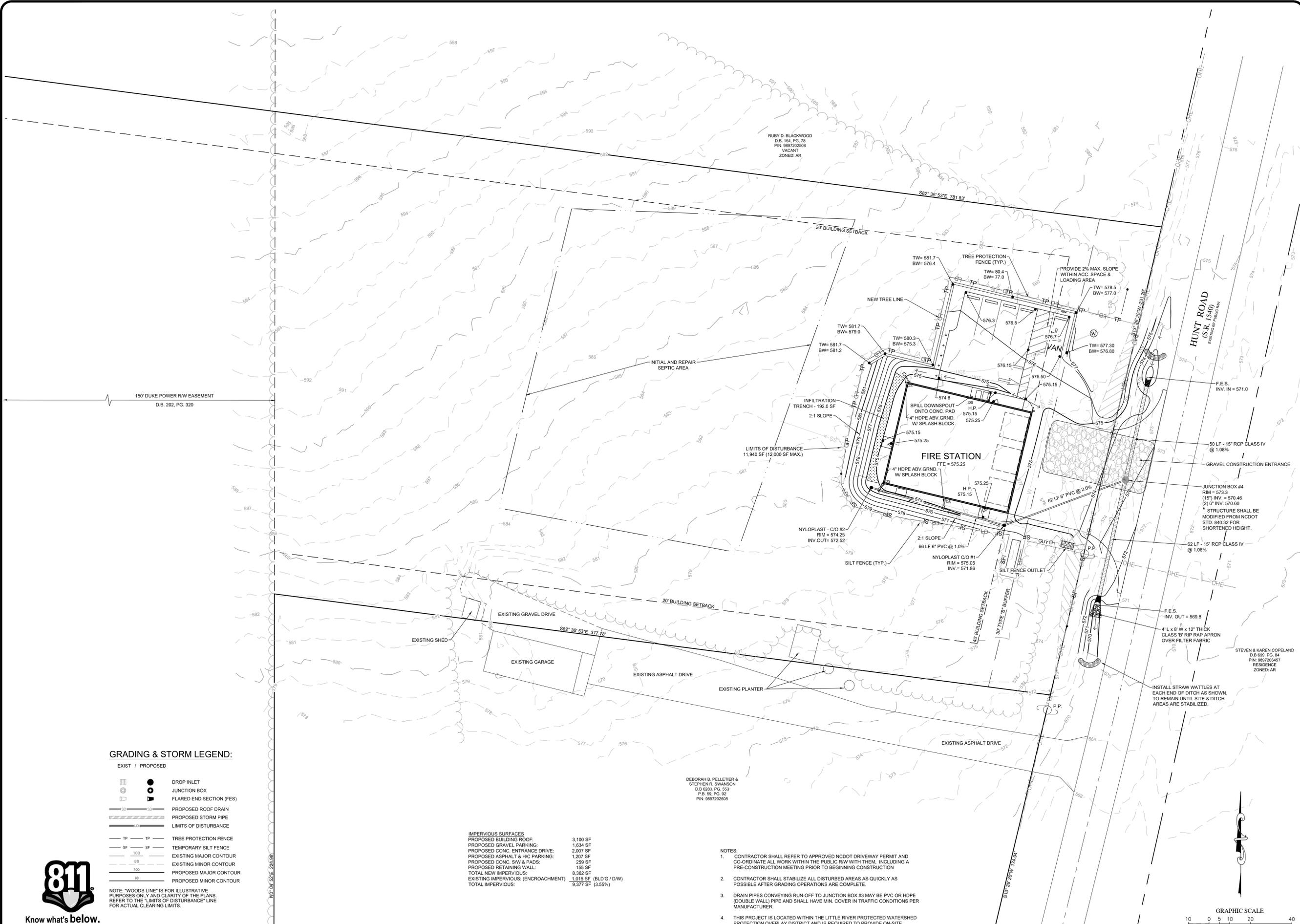
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NON-RESIDENTIAL SITE PLAN ZCP FOR CALDWELL FIRE STATION #2
HUNT ROAD
ORANGE COUNTY, NORTH CAROLINA - PIN: 9897109857
LANDSCAPE - BUFFER PLAN

PROJECT NO. 20-0020
DRAWING NAME: 20-0020_S.dwg
SHEET NO. L-1



GRADING & STORM LEGEND:

- | | | |
|------------------|--|--------------------------|
| EXIST / PROPOSED | | |
| | | DROP INLET |
| | | JUNCTION BOX |
| | | FLARED END SECTION (FES) |
| | | PROPOSED ROOF DRAIN |
| | | PROPOSED STORM PIPE |
| | | LIMITS OF DISTURBANCE |
| | | PROPOSED MAJOR CONTOUR |
| | | PROPOSED MINOR CONTOUR |

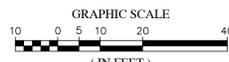
NOTE: "WOODS LINE" IS FOR ILLUSTRATIVE PURPOSES ONLY AND CLARITY OF THE PLANS. REFER TO THE "LIMITS OF DISTURBANCE" LINE FOR ACTUAL CLEARING LIMITS.

IMPERVIOUS SURFACES

PROPOSED BUILDING ROOF:	3,100 SF
PROPOSED GRAVEL PARKING:	1,634 SF
PROPOSED CONC. ENTRANCE DRIVE:	2,007 SF
PROPOSED ASPHALT & HVC PARKING:	1,207 SF
PROPOSED CONC. SW & PADS:	259 SF
PROPOSED RETAINING WALL:	155 SF
TOTAL NEW IMPERVIOUS:	8,362 SF
EXISTING IMPERVIOUS: (ENCROACHMENT)	1,015 SF (BLDG / DW)
TOTAL IMPERVIOUS:	9,377 SF (3.55%)

DEBORAH B. PELLETHIER & STEPHEN R. SWANSON
D.B. 6283, PG. 553
P.B. 59, PG. 92
PIN: 9897202508

- NOTES:**
- CONTRACTOR SHALL REFER TO APPROVED NCDOT DRIVEWAY PERMIT AND CO-ORDINATE ALL WORK WITHIN THE PUBLIC ROW WITH THEM, INCLUDING A PRE-CONSTRUCTION MEETING PRIOR TO BEGINNING CONSTRUCTION.
 - CONTRACTOR SHALL STABILIZE ALL DISTURBED AREAS AS QUICKLY AS POSSIBLE AFTER GRADING OPERATIONS ARE COMPLETE.
 - DRAIN PIPES CONVEYING RUN-OFF TO JUNCTION BOX #3 MAY BE PVC OR HDPE (DOUBLE WALL) PIPE AND SHALL HAVE MIN. COVER IN TRAFFIC CONDITIONS PER MANUFACTURER.
 - THIS PROJECT IS LOCATED WITHIN THE LITTLE RIVER PROTECTED WATERSHED PROTECTION OVERLAY DISTRICT AND IS REQUIRED TO PROVIDE ON-SITE INFILTRATION OF THE FIRST INCH OF STORMWATER RUNOFF. INFILTRATION TRENCHES ARE SHOWN TO MEET THIS REQUIREMENT.



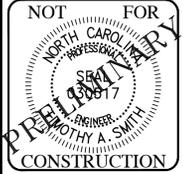
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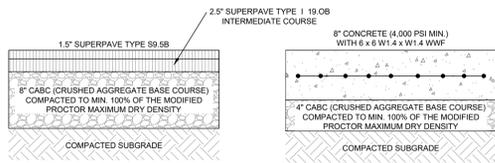
PROJECT ENGINEER/ARCHITECT: TAS (TASMIT@SUMMITDE.NET)
PROJECT MANAGER: RPH (RANDY.HALL@SUMMITDE.NET)
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NON-RESIDENTIAL SITE PLAN ZCP FOR CALDWELL FIRE STATION #2
HUNT ROAD
ORANGE COUNTY, NORTH CAROLINA - PIN: 9897109857
GRADING & EROSION CONTROL PLAN

PROJECT NO: 20-0020
DRAWING NAME: 20-0020_G.dwg
SHEET NO: C-5



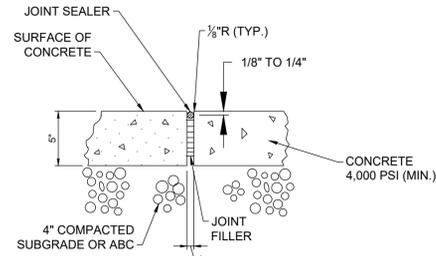
LIGHT DUTY ASPHALT
NEW PARKING LOT
(PARKING AISLE & SPACES)

HEAVY DUTY CONCRETE
ENTRANCE DRIVE AND TRUCK BAY ACCESS

NOTE: TYPICAL SECTIONS ABOVE ARE BASED ON TYPICAL SOILS CONDITIONS FOR THE AREA ONLY. NO GEOTECHNICAL TESTING DATA WAS PROVIDED FOR THE SITE.

ASPHALT/CONCRETE PAVING RECOMMENDATIONS

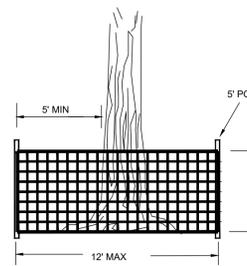
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- NOTES:**
- A GROOVE JOINT 1" DEEP W/ 1/8" RADIUS SHALL BE REQUIRED IN THE CONC. SIDEWALK AT 5' INTERVALS. ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 50' INTERVALS. A 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE.
 - FINISHED SURFACE OF SIDEWALK TO BE BROOM FINISHED, PERPENDICULAR TO TRAFFIC FLOW.
 - CROSS-SLOPE OF SIDEWALK SHALL NOT EXCEED 2%

SIDEWALK & PARKING AREA DETAIL

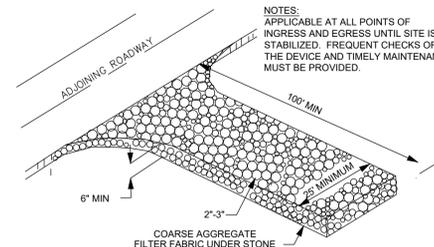
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- NOTES:**
- TREE PROTECTION FENCING MUST BE IN PLACE PRIOR TO ANY DEMOLITION, LAND DISTURBANCE OR ISSUANCE OF A GRADING PERMIT.
 - SIGNS IN BOTH ENGLISH AND SPANISH SHALL BE PLACED IN TREE PROTECTION AREAS. THE SIGNS SHOULD READ "TREE PROTECTION AREA NO TRESPASSING" AND "ZONA PROTECTORA PARA LOS ARBOLES/ PROHIBIDO ENTRAR".

TREE PROTECTION FENCE

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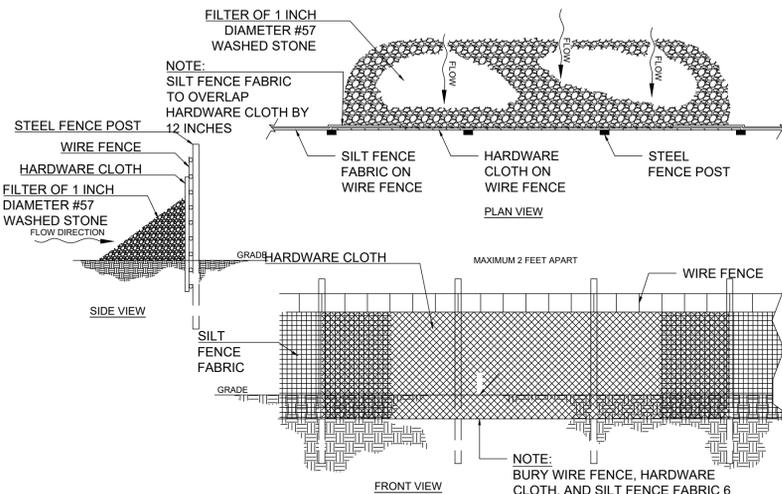


- NOTES:**
- WASHED STONE PAD TO BE 100' X 25' X 6" THICK MINIMUM. IF THE ADJOINING ROADWAY IS WIDER THAN 25', THEN THE WASHED STONE SHALL BE AS WIDE AS THE ADJOINING ROADWAY.
 - TURNING RADIUS SUFFICIENT TO ACCOMMODATE LARGE TRUCKS IS TO BE PROVIDED.
 - ENTRANCE(S) SHOULD BE LOCATED TO PROVIDE FOR MAXIMUM UTILITY BY ALL CONSTRUCTION VEHICLES.
 - MUST BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR DIRECT FLOW OF MUD ONTO STREETS.
 - PERIODIC TOP DRESSING WITH STONE (2" THICK) WILL BE NECESSARY; KEEP SOME HANDY.
 - ANY MATERIAL WHICH STILL MAKES IT ONTO THE ROAD MUST BE CLEANED UP IMMEDIATELY.

CONSTRUCTION ENTRANCE NOTES:

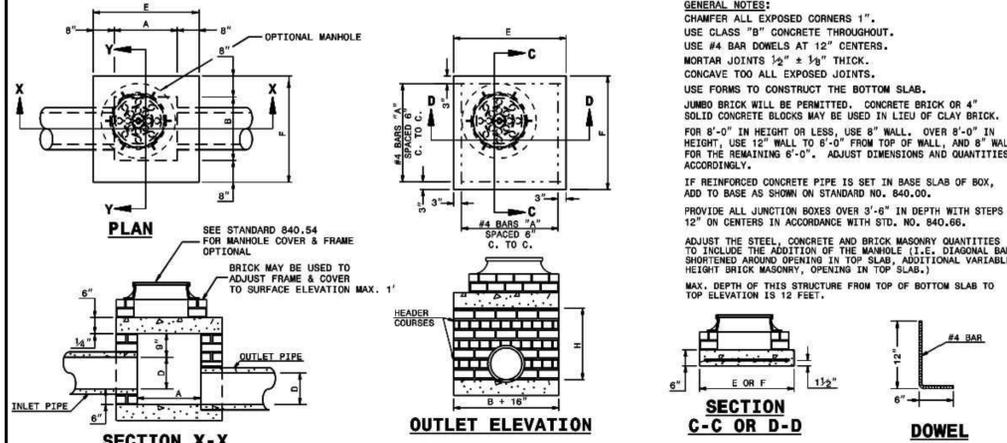
- CONSTRUCTION ENTRANCE SHALL BE 25' MINIMUM WIDTH AND 50' MINIMUM LENGTH AND 6" MINIMUM THICKNESS OF STONE (1.5"-3.5") COARSE AGGREGATE WITH GEOTEXTILE UNDERLIER. REFER TO THE CITY, COUNTY OR STATE FOR ANY ADDITIONAL REQUIREMENTS.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1.5"-3.5" STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY STRUCTURE USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, OR TRACKED FROM VEHICLES OR SITE ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- WHEELS MUST BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY WHEN WASHING IS REQUIRED. IT SHALL BE DONE ON AN AREA WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN LOCATED PER THE TOWN OR STATE REQUIREMENTS.

TEMPORARY CONSTRUCTION EXIT



STANDARD SILT FENCE OUTLET

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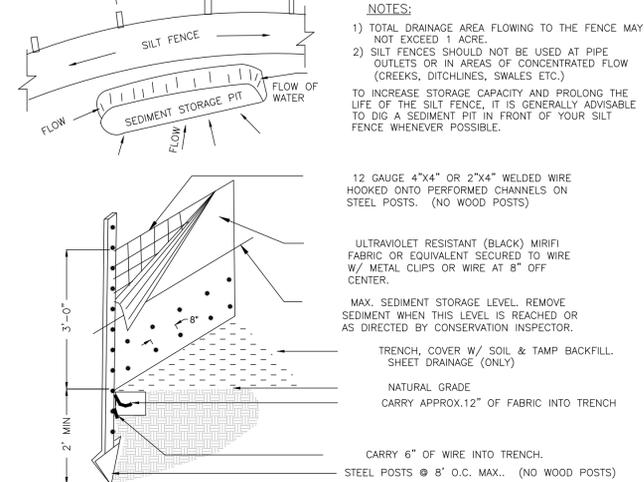
- GENERAL NOTES:**
- CHAMFER ALL EXPOSED CORNERS 1".
 - USE CLASS "B" CONCRETE THROUGHOUT.
 - USE #4 BAR DOWELS AT 12" CENTERS.
 - MORTAR JOINTS 1/2" ± 1/8" THICK.
 - CONCAVE TOO ALL EXPOSED JOINTS.
 - USE FORMS TO CONSTRUCT THE BOTTOM SLAB.
 - JUMBO BRICK WILL BE PERMITTED. CONCRETE BRICK OR 4" SOLID CONCRETE BLOCKS MAY BE USED IN LIEU OF CLAY BRICK.
 - FOR 8'-0" IN HEIGHT OR LESS, USE 8" WALL. OVER 8'-0" IN HEIGHT, USE 12" WALL TO 4'-0" FROM TOP OF WALL, AND 8" WALL FOR THE REMAINING 6'-0". ADJUST DIMENSIONS AND QUANTITIES ACCORDINGLY.
 - IF REINFORCED CONCRETE PIPE IS SET IN BASE SLAB OF BOX, ADD TO BASE AS SHOWN ON STANDARD NO. 840.00.
 - PROVIDE ALL JUNCTION BOXES OVER 3'-0" IN DEPTH WITH STEPS 12" ON CENTERS IN ACCORDANCE WITH STD. NO. 840.66.
 - ADJUST THE STEEL, CONCRETE AND BRICK MASONRY QUANTITIES TO INCLUDE THE ADDITION OF THE MANHOLE (I.E. DIAGONAL BARS SHORTENED AROUND OPENING IN TOP SLAB, ADDITIONAL VARIABLE HEIGHT BRICK MASONRY, OPENING IN TOP SLAB).
 - MAX. DEPTH OF THIS STRUCTURE FROM TOP OF BOTTOM SLAB TO TOP ELEVATION IS 12 FEET.

DIMENSIONS OF BOX AND PIPE				DIMENSIONS AND QUANTITIES FOR BRICK JUNCTION BOXES								
PIPE D	SPAN A	WIDTH B	HEIGHT H	REINFORCEMENT BARS		TOP SLAB DIMENSIONS		CUBIC YARDS		DEDUCTIONS FOR ONE PIPE CU. YDS.		
				NO.	LENGTH	E	F	CONC. CU. YD.	BRICK MASONRY CU. YD.	TOP & BOTTOM FT. x IN.	C.S.	R.C.
12"	2'-0"	2'-0"	2'-3"	12	3'-1"	3'-4"	3'-4"	0.412	0.581	0.263	0.020	0.032
15"	2'-0"	2'-0"	2'-6"	12	3'-1"	3'-4"	3'-4"	0.412	0.657	0.263	0.031	0.047
18"	2'-4"	2'-4"	2'-9"	14	3'-5"	3'-8"	3'-8"	0.498	0.814	0.296	0.044	0.065
24"	3'-0"	3'-0"	3'-3"	16	4'-1"	4'-4"	4'-4"	0.695	1.176	0.362	0.078	0.113
30"	3'-4"	3'-4"	3'-9"	18	4'-5"	4'-8"	4'-8"	0.807	1.481	0.395	0.122	0.170
36"	4'-0"	4'-0"	4'-3"	20	5'-1"	5'-4"	5'-4"	1.053	1.959	0.461	0.176	0.238
42"	4'-8"	4'-8"	4'-9"	22	5'-9"	6'-0"	6'-0"	1.333	2.503	0.527	0.240	0.323
48"	5'-4"	5'-4"	5'-3"	26	6'-5"	6'-8"	6'-8"	1.646	2.940	0.560	0.313	0.422
54"	5'-10"	5'-10"	5'-9"	28	6'-11"	7'-2"	7'-2"	1.902	3.502	0.609	0.396	0.535
60"	6'-8"	6'-8"	6'-3"	30	7'-7"	7'-10"	7'-10"	2.272	4.113	0.658	0.489	0.660
66"	7'-1"	7'-1"	6'-9"	32	8'-2"	8'-5"	8'-5"	2.624	4.778	0.708	0.591	0.798

STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR BRICK JUNCTION BOX (WITH OPTIONAL MANHOLE) 12" THRU 66" PIPE

SHEET 1 OF 1
840.32



- NOTES:**
- TOTAL DRAINAGE AREA FLOWING TO THE FENCE MAY NOT EXCEED 1 ACRE.
 - SILT FENCES SHOULD NOT BE USED AT PIPE OUTLETS OR IN AREAS OF CONCENTRATED FLOW (CREEKS, DITCHES, SWALES, ETC.)
- TO INCREASE STORAGE CAPACITY AND PROLONG THE LIFE OF THE SILT FENCE, IT IS GENERALLY ADVISABLE TO DIG A SEDIMENT PIT IN FRONT OF YOUR SILT FENCE WHENEVER POSSIBLE.

12 GAUGE 4"x4" OR 2"x4" WELDED WIRE HOOKED ONTO PERFORMED CHANNELS ON STEEL POSTS. (NO WOOD POSTS)

ULTRAVIOLET RESISTANT (BLACK) MIRIFI FABRIC OR EQUIVALENT SECURED TO WIRE W/ METAL CLIPS OR WIRE AT 8" OFF CENTER.

TRENCH, COVER W/ SOIL & TAMP BACKFILL. SHEET DRAINAGE (ONLY)

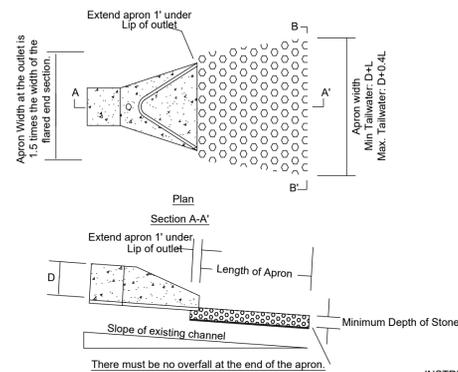
NATURAL GRADE
CARRY APPROX. 12" OF FABRIC INTO TRENCH.

CARRY 6" OF WIRE INTO TRENCH.
STEEL POSTS @ 8' O.C. MAX. (NO WOOD POSTS)

TEMPORARY SILT FENCE

NTS

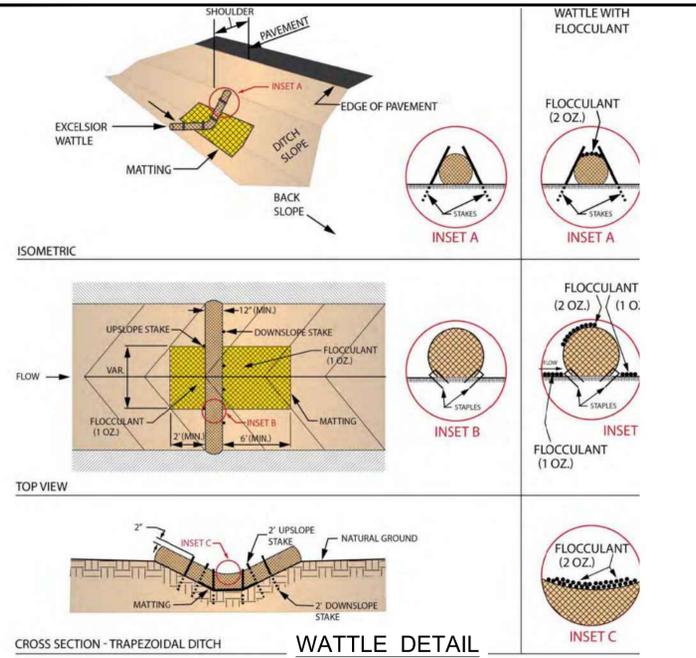
MAINTENANCE:
INSPECT SEDIMENT BENS AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. SHOULD THE FABRIC OF A FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY. REPLACE BURLAP PROMPTLY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE-TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT. REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE ARE TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.



INSTRUCTIONS FOR STONE APRON OUTLET PROTECTION

- REFER TO THE PLANS FOR LOCATION, EXTENT, AND SPECIFICATIONS. IF THERE ARE QUESTIONS OR PROBLEMS WITH THE LOCATION, EXTENT, OR METHOD OF INSTALLATION CONTACT THE ENGINEER, ARCHITECT, OR RESPONSIBLE PERSONNEL ON THE SITE FOR ASSISTANCE. EROSION CONTROL PERSONNEL HAVE COPIES OF INSTRUCTIONS AND MAY HAVE PHOTOGRAPHS OF PROPERLY INSTALLED APRONS AS AN AID TO INSTALLATION.
- IF THE STONE APRON IS NOT INSTALLED CORRECTLY THE FIRST TIME, IT WILL HAVE TO BE REBUILT.
- DETERMINE THE LOCATION ON THE GROUND TAKING INTO CONSIDERATION:
 - DECIDE HOW EQUIPMENT AND MATERIAL WILL REACH THE LOCATION TO CONSTRUCT THE APRON. DO NOT "PLANT YOURSELF INTO A CORNER" AND PLACE FILL, STRUCTURES, ETC. THAT COULD BLOCK ACCESS.
 - THE LOCATION OF THE APRON MUST BE SOLID GROUND. IT MAY BE NECESSARY TO EXCAVATE THE LOCATION TO REMOVE MUD AND THEN BACKFILL WITH GOOD MATERIAL. THIS IS NECESSARY SO THE STONE DOES NOT DISAPPEAR INTO THE MUD, WHICH WOULD REQUIRE MUCH MORE STONE TO COMPLETE THE APRON AND MAKE INSTALLATION DIFFICULT.
- CLEAR THE LOCATION OF THE APRON. LEAVE AS MUCH OF THE EXISTING VEGETATION AS POSSIBLE AROUND THE LOCATION TO HOLD THE SOIL IN PLACE AND REDUCE THE AREA THAT WILL HAVE TO BE STABILIZED AFTERWARD.
- EXCAVATE THE BOTTOM TO THE REQUIRED DEPTH TO ACCEPT THE STONE AND THE FILTER BLANKET. WHEN FINISHED, THE BOTTOM OF THE APRON MUST BE LEVEL WITH THE BOTTOM OF THE CHANNEL. THESE CANNOT BE AN OVERFALL AT THE END OF THE APRON.
- PLACE THE FILTER BLANKET AS SPECIFIED IN THE PLAN, OVER THE LOCATION AND UNDER THE APRON TO FIT THE CHANNEL. IF NECESSARY, LINE THE ENTRANCE TO PROVIDE A TRANSITION INTO THE RECEIVING CHANNEL.
- PLACE THE SPECIFIED STONE TO THE REQUIRED DIMENSIONS AND SHAPE IT TO THE CONFIGURATION SHOWN IN THE PLAN.
- STABILIZE THE AREA AROUND THE APRON THAT WAS DISTURBED DURING CONSTRUCTION. USE ADDITIONAL STONE OR VEGETATION, WHICHEVER IS APPROPRIATE FOR THE SITUATION.

RIP RAP OUTLET PROTECTION



PERMANENT SEEDING IN NORTH CAROLINA (TABLE 6.11L)

SEEDING MIXTURE SPECIES	RATE (LB/ACRE)
TALL FESCUE	250
SERICEA LESPEDEZA	20
KOBE LESPEDEZA	10
	50

- SEEDING NOTES:**
- AFTER AUGUST 15 USE UNSCARIFFED SERICEA SEED.
 - WHERE PERIODIC MOWING IS PLANNED OR A NEAR APPEARANCE IS DESIRED, OMIT SERICEA AND INCREASE KOBE LESPEDEZA TO 40 LB/ACRE.
 - TO EXTEND SPRING SEEDING DATES INTO JUNE, ADD 15 LB/ACRE HULLED BERMUDAGRASS. HOWEVER, AFTER MID-APRIL IT IS PREFERABLE TO USE TEMPORARY COVER.

NURSE PLANTS:
BETWEEN MAY 1 AND AUGUST 15, ADD 10 LB/ACRE GERMAN RYLEET OR 15 LB/ACRE SUDANGRASS. PRIOR TO MAY 1 OR AFTER AUGUST 15, ADD 40 LB/ACRE RYE (GRAIN).

SEEDING DATES	BEST	POSSIBLE
FALL:	AUGUST 25 - SEPTEMBER 15	AUGUST 20 - OCTOBER 25
LATE WINTER:	FEBRUARY 15 - MARCH 21	FEBRUARY 1 - APRIL 15

SOIL AMENDMENTS:
APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 4,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 10-10-10 FERTILIZER.

MULCH:
APPLY 4,000 LB/ACRE GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING OR ROVING OR BY CRIMPING WITH A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE:
REFERTILIZE IN THE SECOND YEAR UNLESS GROWTH IS FULLY ADEQUATE. MAY BE MOWED ONCE OR TWICE A YEAR, BUT MOWING IS NOT NECESSARY. RESEED, FERTILIZE AND MULCH DAMAGED AREAS IMMEDIATELY.

SEEDING SCHEDULE

- TILL OR DISC SOIL TO APPROPRIATE DEPTH PER THE NC EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL PERMANENT STABILIZATION REQUIREMENTS.
- AMEND SOIL TO PROVIDE SUFFICIENT ORGANIC MATTER FOR LONG-TERM VEGETATION GROWTH AND INFILTRATION.
- IF SOIL IS NOT AMENDED, PROVIDE A JUSTIFICATION (I.E., SOIL TEST RESULTS) FOR WHY THE AMENDMENT WAS NOT NECESSARY.
- USE ADDITIONAL AMENDMENTS AS NECESSARY TO ENSURE THAT THE PVIOUS SURFACE IS INFILTRATING STORMWATER AT PRE-DEVELOPMENT RATES.
- FOLLOW NC EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL REQUIREMENTS AND GUIDELINES FOR PERMANENT SEEDING.
- INSPECT ALL SEEDED AREAS AND MAKE NECESSARY RESEEDINGS WITHIN THE PLANTING SEASON. IF POSSIBLE, IF STAND SHOULD BE OVER 60% DAMAGED, REESTABLISH ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
- CONSULT CONSERVATION INSPECTOR ON MAINTENANCE AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.

***APPLY:**
AGRICULTURAL LIMESTONE - 2 TONS/ACRES (3 TONS/ACRE IN CLAY SOILS)
FERTILIZER - 1,000 lbs./ACRE - 10-10-10
SUPERPHOSPHATE - 500 lbs/acre - 20% ANALYSIS
MULCH - 2 TONS/ACRE (500 LB/ACRE FOR STEEP SLOPES) - SMALL GRAIN STRAW ANOTHER - ASPHALT EMULSION @ 300 GALS./ACRE

STABILIZATION TIMEFRAMES

Site Area Description	Stabilization	Timeframe Exceptions
Perimeter dikes, swales, ditches and slopes	7 days	None
High Quality Water (HQW) Zones	7 days	None
Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
Slopes 3:1 or flatter	14 days	7 days for slopes greater than 50' in length
All other areas with slopes flatter than 4:1	14 days	None, except for perimeters and HQW Zones

CASE NUMBER: SPR20-0009

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1	1st REVIEW COMMENT REVISIONS	7/30/2020	DMC

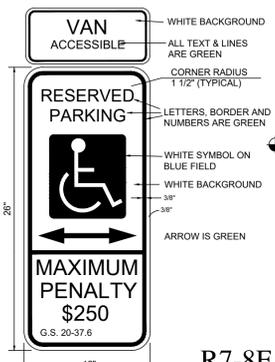
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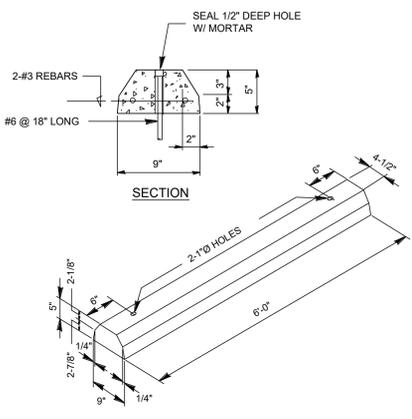
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NON-RESIDENTIAL SITE PLAN ZCP FOR CALDWELL FIRE STATION #2
HUNT ROAD
ORANGE COUNTY, NORTH CAROLINA - PIN: 9897109857
SITE DETAILS

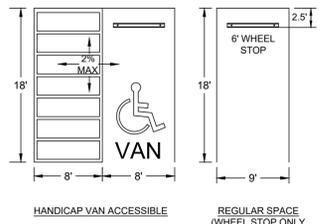
PROJECT NO.: 20-0020
DRAWING NAME: 20-0020_D.dwg
SHEET NO.: D-1



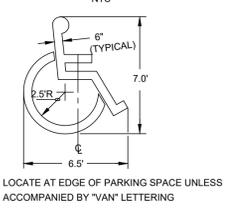
R7-8E
ACCESSIBLE PARKING SIGN
NTS



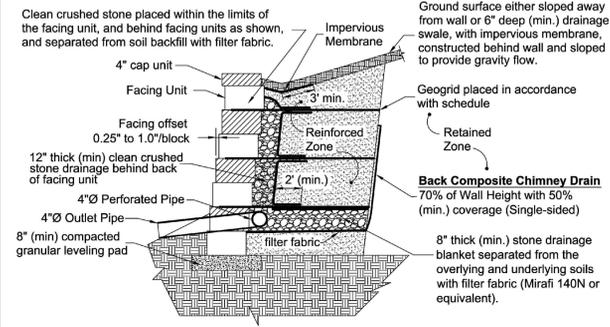
PRECAST CONCRETE
WHEELSTOP
NTS



PARKING SPACES - TYPICAL
NTS

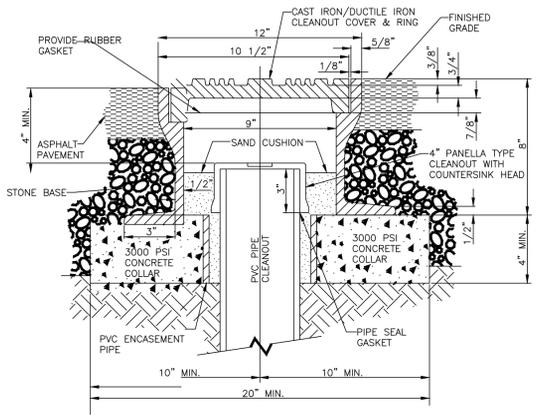


ACCESSIBLE PARKING SYMBOL
NTS

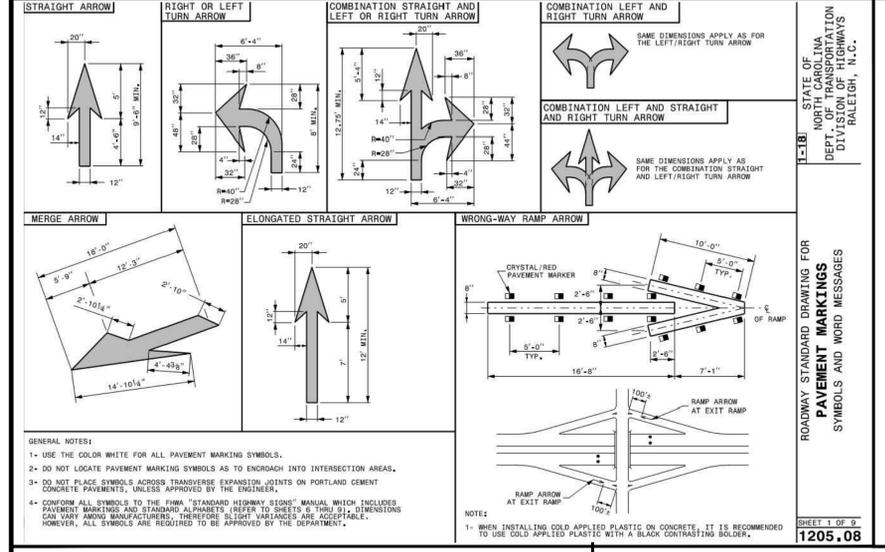


SEGMENTAL
REINFORCED BLOCK DETAIL
(NOT TO SCALE)

NOTE:
THIS DETAIL IS FOR GENERAL
INFORMATION ONLY. WALL SHALL BE
DESIGNED BY N.C. PROFESSIONAL
ENGINEER.



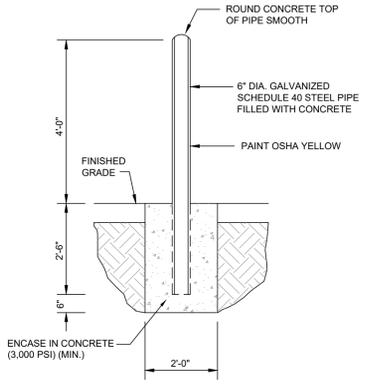
TRAFFIC BEARING CLEANOUT
NO SCALE



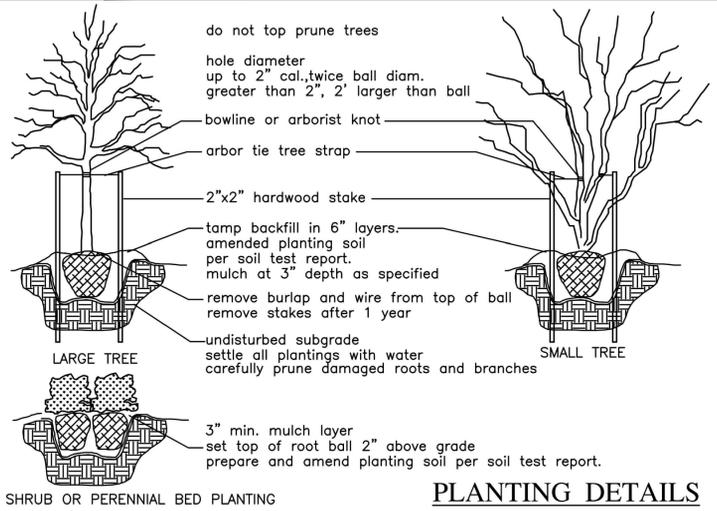
STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR
PAVEMENT MARKINGS
SYMBOLS AND WORD MESSAGES

SHEET 1 OF 9
1205.08

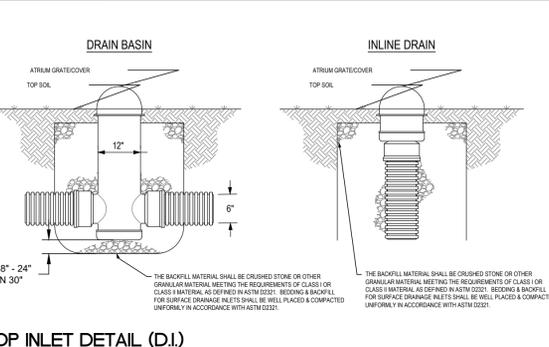


BOLLARD DETAIL
NTS

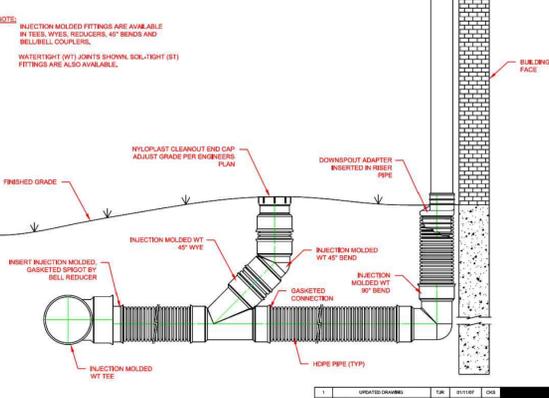


PLANTING DETAILS

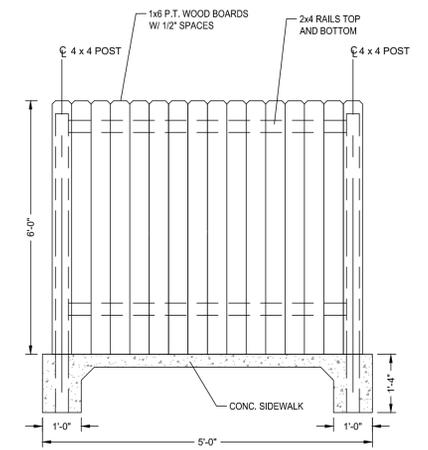
- GENERAL PLANTING NOTES**
1. VERIFICATION OF TOTAL QUANTITIES AS SHOWN SHALL BE THE RESPONSIBILITY OF THE PLANTING CONTRACTOR.
 2. ALL TREES, SHRUBS, AND BEDDING PLANTS SHALL CONFORM TO THE ACCEPTED STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
 3. ALL SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.
 4. SET TOP OF TREE ROOT BALL 4" ABOVE GRADE, SHRUBS 2" ABOVE GRADE.
 5. PLANT MATERIAL SHALL CARRY A ONE YEAR WARRANTY AND REPLACEMENT GUARANTEE.
 6. AMEND PLANTING SOIL WITH FERTILIZE AND/OR LIME PER SOIL TEST REPORT AT THE RECOMMENDED MANUFACTURERS APPLICATION RATE.
 7. CUYING AND STAKING, IF NECESSARY, SHALL BE REMOVED AFTER ONE GROWING SEASON.
 8. ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING.
 9. ALL TREES HAVE BEEN LOCATED WITH RESPECT TO KNOWN OR EXISTING FACILITIES OR STRUCTURES, COORDINATE FIELD ADJUSTMENT WITH PROJECT OWNER OR AGENT.
 10. ALL PLANT BEDS AND PLANT MATERIAL SHALL BE MAINTAINED IN GOOD HEALTH, AND ANY DEAD, UNHEALTHY OR MISSING PLANTS SHALL BE REPLACED WITH LOCALLY ADAPTED VEGETATION WHICH CONFORMS TO THE INITIAL PLANTING STANDARDS OF THE LANDSCAPE ORDINANCE.
 11. REPORT ANY DISCREPANCIES TO THE PROJECT OWNER OR AGENT.
 12. SUBSTITUTIONS OR ALTERATIONS SHALL NOT BE MADE WITHOUT PRIOR WRITTEN NOTIFICATION BY THE OWNER OR AGENT.
 13. APPLY 3" OF DOUBLE SHREDDED HARDWOOD MULCH TO ALL PLANTING AREAS.
 14. ADD COMPOST TO PLANTING SOIL TO ACHIEVE 5% ORGANIC CONTENT.
 15. ALL MULCH BEDS ARE TO HAVE A SPADE-CUT EDGED WHEN ADJACENT TO TURF AREAS.



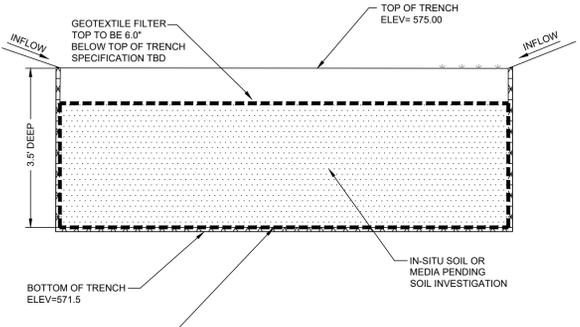
DROP INLET DETAIL (D.I.)
NON TRAFFIC INSTALLATION



ROOF LEADER CONNECTION DETAIL



TRASH & RECYCLING SCREEN ELEVATION
NTS



INFILTRATION TRENCH
SECTION VIEW
NTS

NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
3			
2			
1	1st REVIEW COMMENT REVISIONS	7/30/2020	DMC

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DRAWN BY
DMC (DMC@SUMMITDE.NET)
FIRST ISSUE DATE
05-14-2020

NOT FOR CONSTRUCTION

NORTH CAROLINA
REGISTERED PROFESSIONAL ENGINEER
PREPARED BY
DANIEL A. SMITH
CONSTRUCTION

Summit
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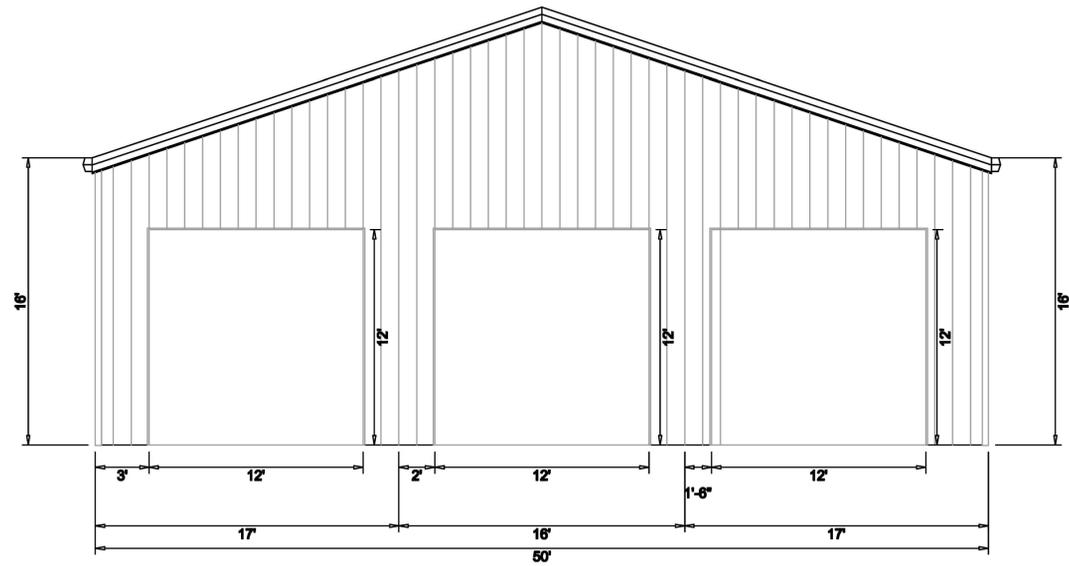
NON-RESIDENTIAL SITE PLAN ZCP FOR
CALDWELL FIRE STATION #2
HUNT ROAD
ORANGE COUNTY, NORTH CAROLINA - PIN: 9897109857

SITE DETAILS

PROJECT NO.
20-0020
DRAWING NAME:
20-0020_D.dwg
SHEET NO.
D-2

Created: Thu Apr 2 10:37:06 2020, System: CadPLOT2019A.plt

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FRONT ARCHITECTURAL - (A) Main

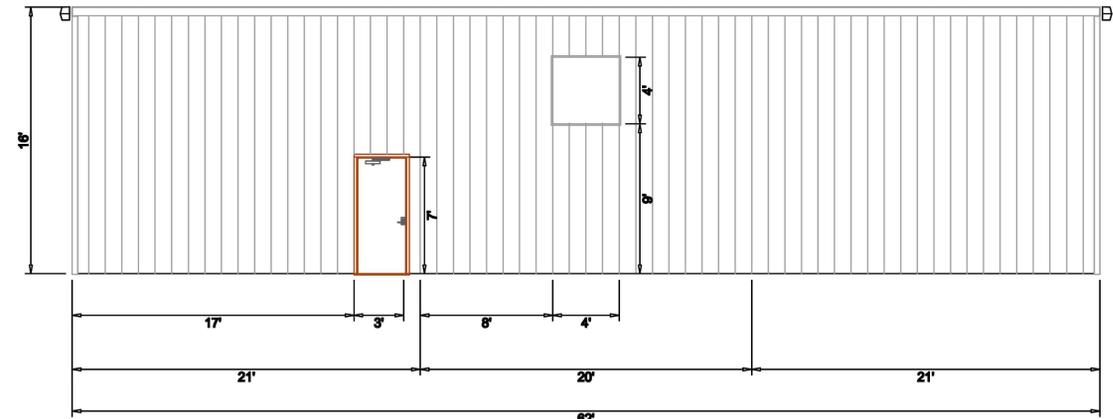
Caco Building Systems
1000 West Main Street
Fayetteville, NC 27834
Phone: (919) 732-4676
Fax: (919) 732-4676
www.cacobuildings.com

Customer: _____
Project: _____
Drawing Name: _____
Scale: NOT TO SCALE
Version: 2004
Estimator: MTS
Date: 4/2/20
Project No: _____
Cabinet ID: _____
Member: _____

MBMA
The engineer whose seal appears hereon is not responsible for the construction of the building. The engineer's seal is not the seal of an engineer in the state of North Carolina.

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RIGHT ARCHITECTURAL - (A) Main

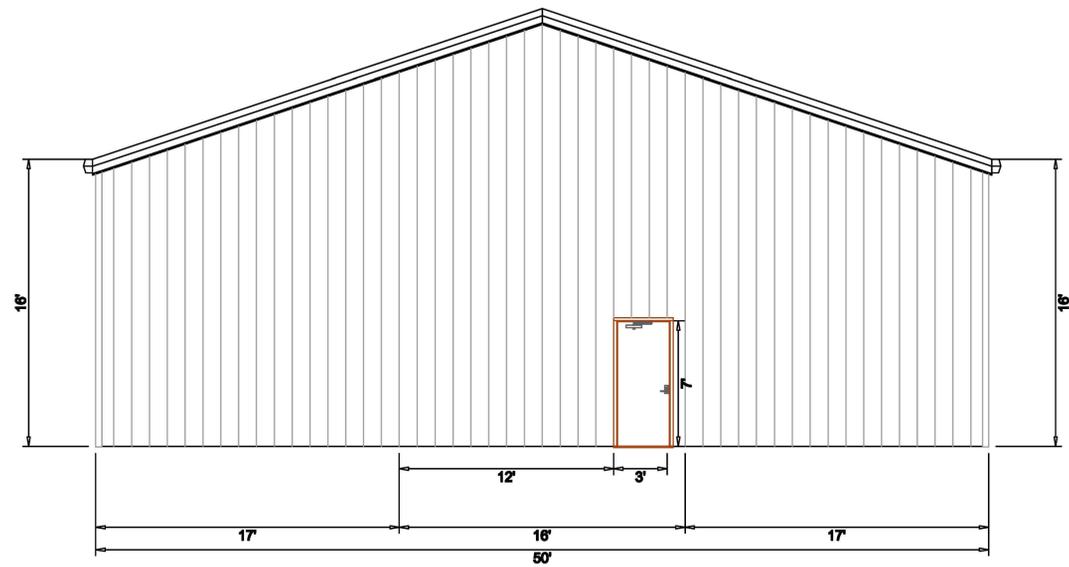
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Fax: (919) 732-4676
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Customer: _____
Project: _____
Drawing Name: _____
Scale: NOT TO SCALE
Version: 2004
Estimator: MTS
Date: 4/2/20
Project No: _____
Cabinet ID: _____
Member: _____

MBMA
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REAR ARCHITECTURAL - (A) Main

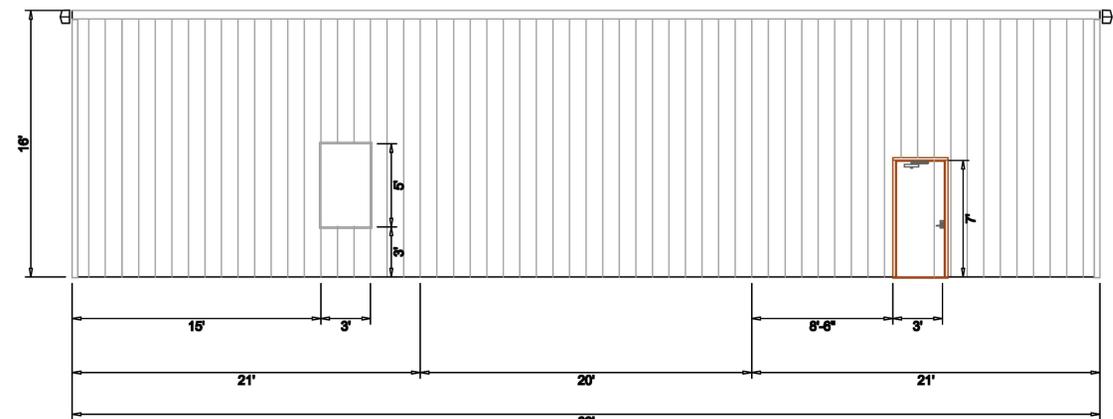
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Customer: _____
Project: _____
Drawing Name: _____
Scale: NOT TO SCALE
Version: 2004
Estimator: MTS
Date: 4/2/20
Project No: _____
Cabinet ID: _____
Member: _____

MBMA
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LEFT ARCHITECTURAL - (A) Main

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Fayetteville, NC 27834
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www.cacobuildings.com

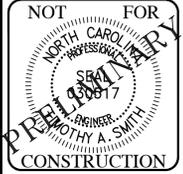
Customer: _____
Project: _____
Drawing Name: _____
Scale: NOT TO SCALE
Version: 2004
Estimator: MTS
Date: 4/2/20
Project No: _____
Cabinet ID: _____
Member: _____

MBMA
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NO.	DATE	REVISIONS
7		
6		
5		
4		
3		
2		
1	7/30/2020	1st REVIEW COMMENT REVISIONS

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FIRST ISSUE DATE
05-14-2020



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NON-RESIDENTIAL SITE PLAN ZCP FOR CALDWELL FIRE STATION #2
HUNT ROAD
ORANGE COUNTY, NORTH CAROLINA - PIN: 9897109857
ARCHITECTURAL BUILDING ELEVATIONS

PROJECT NO.
20-0020
DRAWING NAME:
20-0020_D.dwg
SHEET NO.
A-1